

AGENDA

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, July 11, 2023

Time: 7:00 p.m.

Location: Eau Claire County Courthouse, 721 Oxford Ave, Room 1277, Eau Claire, Wisconsin 54703

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 2603 996 7232

Password: wwJE39dSv34

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 26039967232##

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@eauclairecounty.gov at least 60 minutes prior to the start of the meeting.

**Please mute personal devices upon entry*

A majority of the county board may be in attendance at this meeting, however, only members of the committee may take action on an agenda item.

1. Call to Order and confirmation of meeting notice
2. Roll Call
3. Public Comment **(15 minute maximum)**
4. Review/Approval of June 27, 2023 Meeting Minutes / Discussion – Action **Pages 3-5**
5. Public Hearings
 - a. A conditional use permit concerning a request for a cottage industry contractor business (tree service) in the A-2 Agriculture-Residential District. Owner: Mitchell Downing. Legal: Lot 1 CSM 420, Vol 2, P239, #543841, Town of Pleasant Valley, Eau Claire County, WI. CUP-0007-23 **Pages 6-19**
 - b. A conditional use permit for transportation, communications, pipeline, electric transmission, utility, or drainage uses (broadband fiber shelter) in the A-P Agricultural Preservation and A-2 Agriculture – Residential District. Owner: Bloomer Broadband. Legal: A parcel of land located in part of Lot 50 of the Fifth Assessor’s Plat of the Town of Seymour in the NW ¼ of the NE ¼ of Section 10, Township 27 North, Range 8 West, Town of Seymour, Eau Claire County, Wisconsin. CUP-0008-23 **Pages 20-39**
6. **Postponed to August 08, 2023** - Committee Review– A request to reduce the contiguous buildable area of lot from 21,780 square feet to 3,489 square feet. Lot located in part of the NW ¼ of the SW ¼, Section 4, Township 26 North, Range 6 West, Town of Bridge Creek, Eau Claire County, Wisconsin. (Kinderman/Gartmann) / Discussion – Action **Pages 40-70**
7. Final Plat for Juniper Ridge / Discussion – Action **Pages 71-74**
8. 2024 Planning & Development Budget / Discussion **Pages 75-88**
9. 2024 Fee Increases Action / Discussion – Action **Pages 89-92**

Prepared by: Heidi Pederson

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through sign language, interpreters, remote access, or other auxiliary aids. Contact the clerk of the committee or Administration for assistance (715-839-5106). For additional information on ADA requests, contact the County ADA Coordinator at 839-6945, (FAX) 839-1669 or 839-4735, TTY: use Relay (711) or by writing to the ADA Coordinator, Human Resources, Eau Claire County Courthouse, 721 Oxford Avenue, Eau Claire, WI 54703.

10. Proposed Future Agenda Items / Discussion

- a. Next scheduled meeting July 25, 2023

11. Adjourn

Prepared by: Heidi Pederson

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through sign language, interpreters, remote access, or other auxiliary aids. Contact the clerk of the committee or Administration for assistance (715-839-5106). For additional information on ADA requests, contact the County ADA Coordinator at 839-6945, (FAX) 839-1669 or 839-4735, TTY: use Relay (711) or by writing to the ADA Coordinator, Human Resources, Eau Claire County Courthouse, 721 Oxford Avenue, Eau Claire, WI 54703.

MINUTES

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, June 27, 2023

Time: 7:00 p.m.

Location: Eau Claire County Courthouse, 721 Oxford Ave, Room 1277, Eau Claire, Wisconsin 54703

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 2607 515 1960

Password: nMyYcPnM398

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 26075151960##

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@eauclairecounty.gov at least 60 minutes prior to the start of the meeting.

**Please mute personal devices upon entry*

A majority of the county board may be in attendance at this meeting, however, only members of the committee may take action on an agenda item.

Members Present: Robin Leary, James Dunning, Nancy Coffey, Todd Meyer, Chair Smiar

Members Absent: Dane Zook

Ex officio Present: Connie Russel

Staff Present: Rodney J. Eslinger, Ben Bublitz, Chad Berge, Matt Michels

1. Call to Order and confirmation of meeting notice

Chair Leary called the meeting to order at 7 p.m. and confirmed with Director Eslinger the meeting was properly noticed.

2. Roll Call - Members present are noted above. A quorum was present.

3. Public Comment (**15 minute maximum**) – Judy Bechard, 3719 W. Folsom St, Eau Claire spoke on nonconforming uses, and she stated that she did not feel that the Lewis Trust rezoning required a hearing.

4. Review/Approval of June 13, 2023 Meeting Minutes / Discussion – Action

The committee reviewed the June 13, 2023 meeting minutes.

ACTION: Motion by Nancy Coffey to approve the June 13, 2023 committee meeting minutes as presented.
Motion carried on a voice vote: 4-0-0.

5. Public Hearings

a. **Proposed Ordinance: File No. 23-24/017** to rezone 4.56 acres +/- from A-2 Agriculture-Residential to RH – Rural Homes District. Owner(s): Kenneth & Constance Lewis Trust. Applicant(s): Pete Gartmann, Real Land Surveying. Legal: A parcel of land in the SW ¼ of the SW ¼, Section 11, T27N, R10W, Town of Union, Eau Claire County, Wisconsin, being part of Lot 1, Certified Survey Map 1028 recorded in Volume 5 of Certified Survey Maps, pages 257-258. RZN-0005-23

Matt Michels, Senior Planner for Eau Claire County presented the staff report to the committee. He reviewed with the committee the location of the rezoning petition within the town, an aerial map, the zoning and future land use map, and the soils of the property to be rezoned. He explained the current use of the property and

reviewed the existing certified survey map with the committee. Mr. Michels said the Town of Union Town Board reviewed the rezoning petition at their meeting on June 13, 2023 and voted to recommend approval of the petition.

Matt concluded his presentation by recommending that the committee approve the rezoning petition based on the following findings: 1.) The Town of Union and Eau Claire County Comprehensive Plans both designate the property as Rural Residential which supports RH zoning, 2.) No new lots will be created because of the rezoning. 3.) There are several RH zoned properties near the applicant's property. He also noted that no one provided documentation to support or oppose the rezoning petition as presented.

Shannon Pickett, agent for the Kenneth and Constance Lewis Trust, spoke in favor of the request. She mentioned that the purchaser intends to build toward the rear of the property and will have gardens.

No one else spoke in favor or in oppose to the rezoning petition.

ACTION: Motion by James A. Dunning to approve the Proposed Ordinance: File No. 23-24/017. Motion carried on a voice vote: 4-0-0.

b. Continuation of a conditional use permit concerning a request for the noncommercial raising of animals (up to 10 goats) in the RH zoning district. Owner: Alicia McElroy. Legal: Lot 4, Sixth Assessor's Plat, Town of Seymour, Eau Claire County, Wisconsin. CUP-0005-23

Motion by Supervisor Coffey to continue the June 13, 2023 hearing regarding CUP-0005-23. Motion carried on a voice vote: 4-0-0.

Ben Bublitz, Land Use Manager for Eau Claire County refreshed the committee on the applicant's request for the noncommercial raising of animals on their 7-acre parcel in the Town of Seymour. He noted that since the last hearing the applicant submitted new information regarding the fencing for the goats.

Matt McElroy, property owner and applicant, clarified how he was going to convert an old trailer camper into goat shelter that could be easily moved around his parcel. He stated the goats will be watered year-round and in the winter a heater will be installed in their water tank. Matt also clarified the fence type they plan to use to contain the goats. The outer perimeter woven fence will be five-feet high while the interior fence will be electric and will be 42 inches tall. The fence system will be moved around the property when the goats need more grazing area.

Joe Berclich and Greg Bowe spoke against the request. They stated that the fencing is still a concern, and Mr. Bowe stated this is not an agricultural area.

ACTION: Motion by James Dunning to approve the conditional use permit (CUP-0005-23) request for the noncommercial raising of animals (up to 10 goats) in the RH zoning district, subject to staff's original recommended conditions plus the following: 1) The fence installation shall be inspected and approved by the Land Use Manager prior to any goats entering the property. 2) The property shall be inspected by Land Use Controls and Land Conservation staff annually to verify compliance with this permit, and to verify overgrazing and animal overstocking has not occurred. 3) If overgrazing or overstocking occurs a hearing will be scheduled to review this permit for revocation. 4) The perimeter fence shall be at least five feet in height. Motion carried on a voice vote: 4-0-0

6. Land Conservation Annual Report Update / Discussion

Chad Berge Land Conservation Manager presented the 2022 Land Conservation Annual report to the committee. He highlighted the land conservation staff, farmland preservation accomplishments since 1978, and the tree and shrub program.

7. Review of May bills / Discussion

The committee reviewed the May bills.

8. Proposed Future Agenda Items / Discussion

- a. Next scheduled meeting July 11, 2023
- b. Draft 2024 Planning and Development Budget Review
- c. 2024 Department Fee Adjustments

9. Adjourn

ACTION: Meeting adjourned by unanimous consent at 8:18 pm

Respectfully Submitted,

Rodney Eslinger
Clerk, Committee on Planning & Development



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

CONDITIONAL USE PERMIT NUMBER: CUP-0007-23

COMPUTER NUMBERS: 018-1115-09-010

PUBLIC HEARING DATE: July 11, 2023

STAFF CONTACT: Ben Bublitz, Land Use Manager

OWNER: Mitchell and Amanda Downing, S9085 State Road 93, Eleva, WI 54738

AGENT: Owner

REQUEST: Conditional use permit for a cottage industry to operate a contracting business (tree service).

LOCATION: S9085 State Road 93, Eleva, WI 54738

LEGAL DESCRIPTION: Lot 1 CSM 420, Vol 2, P239, #543841, Town of Pleasant Valley, Eau Claire County, WI.

SUMMARY

The request is for a conditional use permit to operate a contracting business from the property. The applicant is the owner of Gibbon Tree Co. providing full-service tree care including but not limited to: trimming, removals, and planting. The owner would use 1,920 square feet of a proposed 40 foot by 64-foot garage to store business equipment along with parking for his employee. The total number of requested employees is two. The remaining 640 square feet of the structure will be dedicated to personal storage with no ties to the business. There is no outside storage proposed on the site plan or within the narrative. The two company vehicles would be stored within the proposed garage.

BACKGROUND

REQUEST CHARACTERISTICS:

- Lot size is 5.00 acres.
- The property is zoned A-2 Agricultural.
- The site is located on State Road 93.
- Work related to the business will be conducted offsite.
- Employee parking and business vehicle parking indicated.
- Proposed hours of operation are Monday – Friday 7:30 a.m. to 4:30 p.m. for tree services.
- No signage is proposed by the applicant.

CURRENT ZONING: A-2 Agricultural District. The A-2 agriculture-residential district is established to: A. Provide an area for limited residential and hobby farm development in a rural atmosphere; B. Preserve the county's natural resources and open space; The standards set out in this chapter shall apply in this district.

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	RH	Residential

West	AP	Agriculture/open
South	RH	Residential
East	RH	Residential

LAND USE PLANS: The County Land Use Plan includes this property in a Rural Residential planning area.

Rural Residential (RR)

Intent and Description: The primary intent of this classification is to identify areas suitable for future non-farm residential development. Rural Residential areas include lands that are delineated as existing residential properties or vacant platted areas. In addition, some undeveloped land has been designated for RR development where subdivision expansion is likely to occur. These additional areas tend to be adjacent to existing rural subdivisions or where local roads and utilities exist to efficiently and economically serve the area.

APPLICABLE ZONING REGULATIONS

Section 18.01.010 Purpose. This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses: 1) the use must be in conformance with the purpose of the zoning district it is located in; 2) the use will not be injurious to the use and enjoyment of other property in the immediate vicinity; 3) adequate utilities, access, drainage and other necessary facilities have been or are provided; 4) adequate off-street parking is provided; 5) adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; 6) soil conditions are adequate to support the use; 7) access does not pose traffic congestion or hazards.

Section 18.23.001 Purpose. The purpose of this chapter is to set standards under which home occupations, home businesses and cottage industries may be conducted so that such occupations, businesses and industries do not undermine the purpose and intent of this subtitle and the purposes of all agricultural and residential districts.

Section 18.05.001 Purpose. The A-2 agriculture-residential district is established to: A. Provide an area for limited residential and hobby farm development in a rural atmosphere; B. Preserve the county's natural resources and open space; The standards set out in this chapter shall apply in this district.

ANALYSIS: The following is an analysis of the request based upon the standards for approval of conditional use permits:

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses:

- 1) The use must be in conformance with the purpose of the zoning district it is located in; *cottage industries are allowed in the A-2 District with a conditional use permit approval.*
- 2) The use will not be injurious to the use and enjoyment of other property in the immediate vicinity; *it appears that proposed use will not affect the use and enjoyment of other property as all the associated work is done off site.*

- 3) Adequate utilities, access, drainage and other necessary facilities have been or are provided; *the property is served by utilities necessary to support the use.*
- 4) Adequate off-street parking is provided; *adequate off-street parking exists. The site plan shows there is adequate off-street parking available for use by both employees and company vehicles.*
- 5) Adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; *the proposed structure exceeds minimum setback requirements centrally located on the lot. There will be two company vehicles which will be stored within the structure. There is no outside storage proposed.*
- 6) Soil conditions are adequate to support the use; *it appears the soils are adequate to support the use.*
- 7) Access does not pose traffic congestion or hazards; *the site has an existing access off State Road 93.*

TOWN BOARD ACTION: The Town of Pleasant Valley will meet July 10, 2023 to review the application.

STAFF CONCLUSIONS AND RECOMMENDATION: Staff has concluded that the proposed cottage industry is consistent with the standards for conditional use permits, performance standards for cottage industries and with the purpose of the zoning code.

Staff recommends approval of the conditional use permit with the following conditions:

1. The conditional use permit is granted for a cottage industry to operate a contracting business. The site plan, building drawings and the narrative shall be attached to and made part of the permit.
2. The applicant shall obtain all other necessary permits and approvals including, but not limited to, a land use permit and electrical permit.
3. The contracting business shall follow the standards in 18.23.030.A-V of the Zoning Code.
4. The number of employees is limited to two.
5. All outside lighting shall be shielded downward to reduce glare to adjacent properties and not to cause light pollution. Any new lighting will be required to be shielded as to direct the light source downward.
6. Hours of operations shall be Monday thru Friday from 7:30 a.m. to 4:30 p.m. for tree services.
7. A sign not to exceed 6 square feet in size may be placed on the property in accord with the county sign regulations. A sign land use permit is required to be obtained from the department before the sign can be installed.
8. No outside storage associated with the business is permitted.
9. Uses authorized under this conditional use permit shall be limited to the cottage industry proposed in the application. However, future changes in the cottage industry located at this site shall require approval from the Land Use Manager and may require approval by the committee at a public hearing.
10. Property must be in compliance with all applicable laws and regulations including, but not limited to, land use, building, erosion control, and sanitary provisions.
11. The owner shall allow staff from the Eau Claire County Department of Planning and Development to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
12. The permit is subject to Sections 18.21.080 to 18.21.100 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a CUP expires due to the abandonment of a use.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only **CUP-0007-23**

Date Application Accepted:	6/1/2023
Accepted By:	Ben
Receipt Number:	073935
Town Hearing Date:	7-10-2023
Scheduled Hearing Date:	7-11-2023

CONDITIONAL USE PERMIT APPLICATION

Property Owner Name: <u>Mitchell Thomas Downing</u>	Phone# <u>715 229 5005</u>
Mailing Address: <u>S9085 STATE RD 93 ELEVIA, WI 54738</u>	
Email Address: <u>MITCHDOWNING14@gmail.com</u>	

Agent Name:	Phone#
Mailing Address:	
Email Address:	

SITE INFORMATION

Site Address: <u>S9085 STATE RD 93 ELEVIA, WI 54738</u>	
Property Description: <u>SW 1/4 SW 1/4 Sec. 26, T 26N N, R 9 W, Town of PLEASANT VALLEY</u>	
Zoning District: <u>A2</u>	Code Section(s):
Overlay District: Check Applicable	<input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining
Computer #(s):	
or	
PIN #(s):	

GENERAL APPLICATION REQUIREMENTS

Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included. The department is allowed 10 working days after submitting an application to determine if an application is approved, conditionally approved or denied.

<input type="checkbox"/> Complete attached information sheet	<input type="checkbox"/> Site Plan Drawn to Scale	<input type="checkbox"/> Confirmed with the Town their submittal deadline and process.	<input type="checkbox"/> Provide \$ 545.00 application fee (non-refundable). Send application to landuse@co.eau-claire.wi.us or to the address above.
--	---	--	--

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature

Date 5-23-2023

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

STANDARDS FOR CONDITIONAL USE PERMITS

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located.
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted.
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.
- F. Soil conditions are adequate to accommodate the proposed use.
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

DESCRIPTION OF ANY OTHER FEATURES OR CHARACTERISTICS THAT MAY BE SUBJECT TO ZONING REGULATIONS

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

POST FRAME 1 1/2" SIDEWALLS, DARK GRAY COLOR, STEEL SIDING & ROOF

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

NO EXCAVATION

Other features or characteristics (signs, fences, outdoor display areas, etc.)

NO FENCES OR SIGNS

SCALED SITE PLAN - EAU CLAIRE COUNTY, WI » WG XTREME

- | | |
|---|---|
| <input type="checkbox"/> Show parcel and building dimensions of all existing and proposed structures | <input type="checkbox"/> Landscape and screening plans |
| <input type="checkbox"/> Show all signs, fences and other features that may be regulated by zoning | <input type="checkbox"/> Show the well and septic system |
| <input type="checkbox"/> Site access, driveway, and nearest road (labeled) | <input type="checkbox"/> Parking areas with spaces |
| <input type="checkbox"/> Drainage plans including the erosion control plan | <input type="checkbox"/> Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property |
| <input type="checkbox"/> The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc. | |
| <input type="checkbox"/> The location of any equipment that will be used | |

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

- | |
|--|
| <input type="checkbox"/> Show floor plan, including attics |
| <input type="checkbox"/> Show scaled building elevations |
| <input type="checkbox"/> Show color scheme |
| <input type="checkbox"/> Provide information addressing 59.69 (5e) with substantial evidence supporting your request |

SUPPLEMENTAL INFORMATION FOR A CONDITIONAL USE PERMIT

In order to process your application as quickly as possible, please fill in all the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

40W X 64L X 16H POST FRAME BUILDING

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

TREE SERVICE TRUCKS (2)

Equipment used in the business activity:

BUCKET TRUCK
CHIP TRUCK CHIPPER

Days and hours of operation: MTH 8-4

Number of employees: 2

Nuisance abatement measures that will be implemented:

Noise abatement measures:

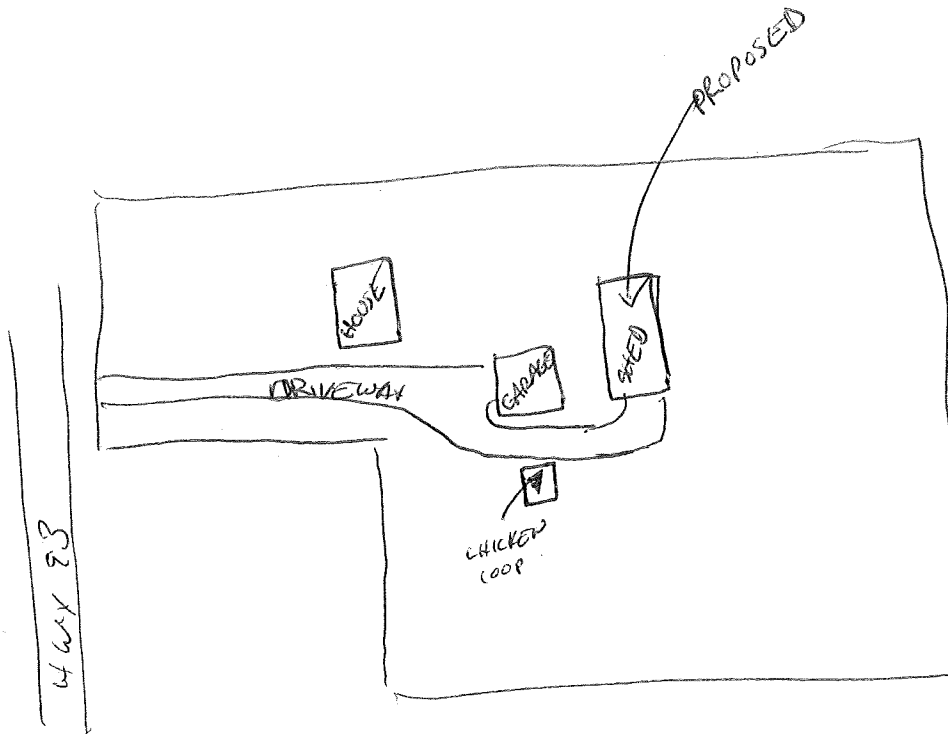
Vibration abatement measures:

Dust control measures:

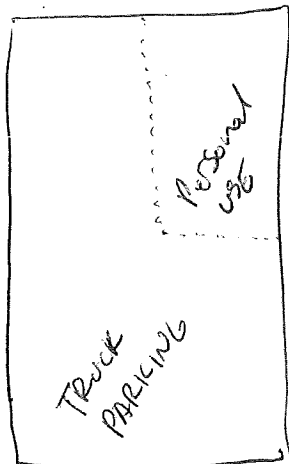
Measures to control fumes or odors:

Visual screening measures (plants, fences, walls, etc.) TREES PLANTED

SITE PLAN



FLOOR PLAN



NO WELL OR SEPTIC

NO ATTICS

COLOR DK GRAY



☀️ 32°
Calm

50 ft
927 ft elevation



AMANDA J
DOWNING

mapbox

Hyb
2D

Hunt Map
Layers



Cottage Industry Standards

A: According to A2 zoning, setbacks and sq. ft. requirement are within parameters

B: Owner resides on the lot

C: Lot size is 5 Acres. Requirement is 3 acres

D: Number of employees will not exceed 5

E: outbuilding is 2650sq ft. 640 sq. ft. is designated for personal use

F: amount of storage outside of building will not exceed 100 cu yds.

G: cottage industry is completely hidden from view of roads. Equipment will remain in an orderly fashion

H: business related activities are conducted offsite or within building

I: setbacks from lot lines exceed minimums

J: Hours of operation are 7:30-4:30

K: Traffic will be limited to employees

L: Employee vehicles would be parked outside building

M: no excessive noise, odors, smoke, vibrations or glare will be experienced by neighboring properties

N: No sales on premises

O: No outdoor display of merchandise on the premises

P: No excessive noise will be interfering with neighboring properties

Q: restrooms will be provided at owners dwelling for employees

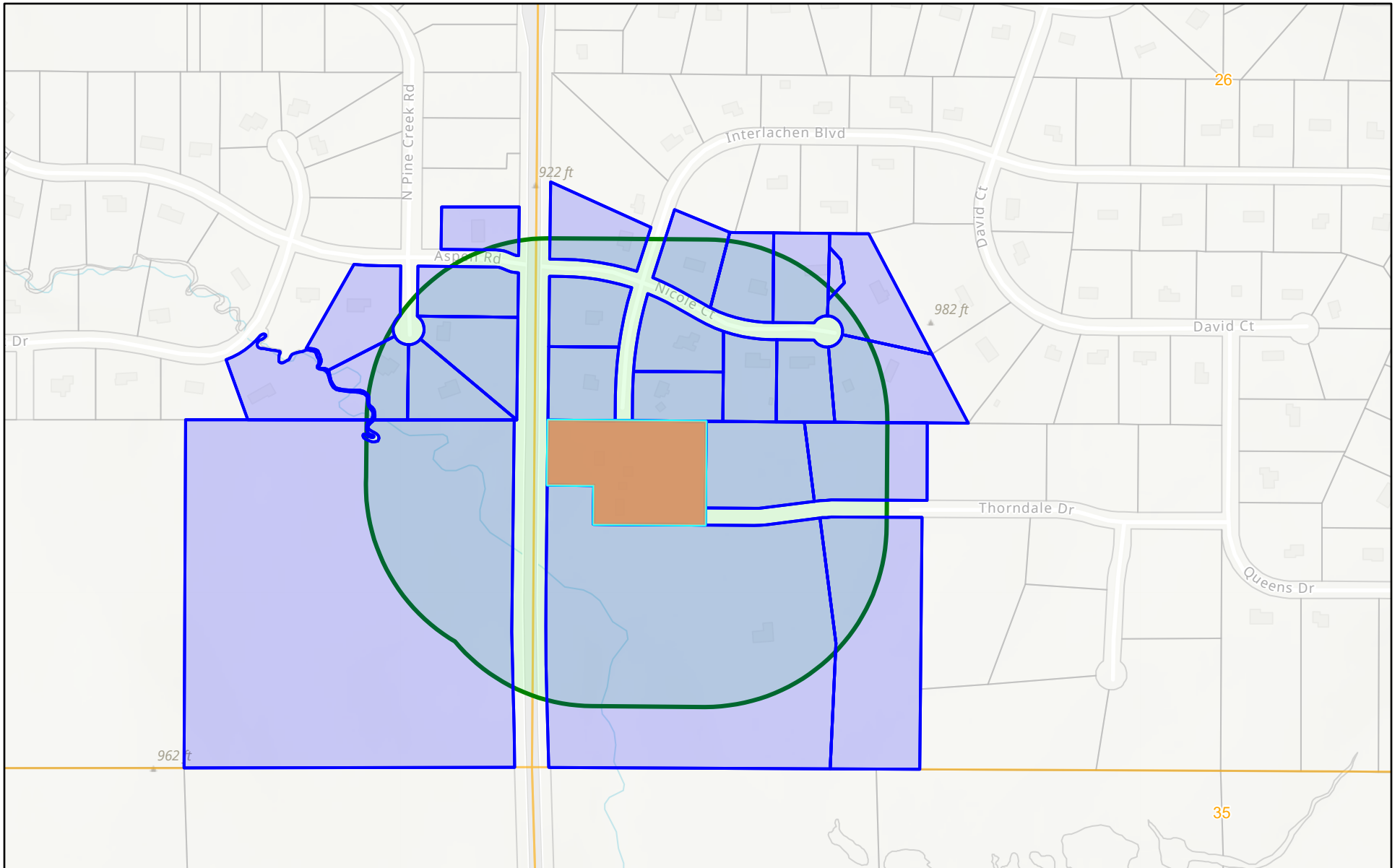
R: No outdoor lighting on premises

S: there will be no interference issues will be had for radio or TV




T: No signage

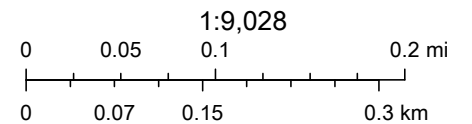
U: Building will not interfere with agricultural use on premises

Public Notification



6/1/2023, 9:40:32 AM

-  County Boundary
-  Tax Parcel
-  Section



Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph,

FirstName LastName	Address	City State Zip
JESSE KERR	S 8995 PINE CREEK CT	ELEVA WI 54738-5012
RANDOLF A & JENNIFER K SOUZA	E 3615 ASPEN RD	ELEVA WI 54738-9470
PAUL J & LYDIA M SOWDEN	E 3735 ASPEN RD	ELEVA WI 54738-9458
GERALD K II & BETTE J FENSKE	S 8989 PINE CREEK CT	ELEVA WI 54738-5012
EMILIA PETCU	S 9000 PINE CREEK CT	ELEVA WI 54738-5009
CHAD A & AMY A DRIER	S 9025 INTERLACHEN BLVD	ELEVA WI 54738-4136
WILLIAM MOWRY	E 3995 NICOLE CT	ELEVA WI 54738-9425
KYLE TOBIAS	E 4075 NICOLE CT	ELEVA WI 54738-9442
WILLIAM KAISER	E 3940 INTERLACHEN BLVD	ELEVA WI 54738-4142
DAVID VAN DREESE	E 4226 THORNDALE DR	ELEVA WI 54738-2804
MARK MCCARTHY	E4229 THORNDALE DR	ELEVA WI 54738-2804
EDWARD F & SUSAN D STURGAL	E 4115 NICOLE CT	ELEVA WI 54738-9446
JOSEPH LARSON	S 8935 STONEBROOK DR	ELEVA WI 54738-8501
TIMOTHY D LANG	S8980 INTERLACHEN BLVD	ELEVA WI 54738-4141
PAUL LING	S9020 INTERLACHEN BLVD	ELEVA WI 54738-4136
NATHANIEL OLLMANN	E 4130 NICOLE CT	ELEVA WI 54738-9446
STEVEN W & BRENDA C BURGESS	S 9171 STATE ROAD 93	ELEVA WI 54738-4145
LYLE & CAROL BIEN REVOCABLE TRUST	S 9450 STATE ROAD 93	ELEVA WI 54738-4118
WESLEY E & BARBARA J WIEDENBECK	E 3980 NICOLE CT	ELEVA WI 54738-9425
ROBERT HILLIS	E4155 NICOLE CT	ELEVA WI 54738-9446
JOSH A & SARA N HANSEN	E 4160 NICOLE CT	ELEVA WI 54738-9446
JEFFREY ERICKSON	E 4050 NICOLE CT	ELEVA WI 54738-9442
VIEWS OF EAU CLAIRE LLC	3708 EASTWIND DR	EAU CLAIRE WI 54701-8027



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

CONDITIONAL USE PERMIT NUMBER: CUP-0008-23

COMPUTER NUMBERS: 020-1235-01-000

PUBLIC HEARING DATE: July 11, 2023

STAFF CONTACT: Ben Bublitz, Land Use Manager

OWNER: John Anderson, 9409 Burnell Drive, Chippewa Falls, WI 54729

AGENT: Heather McGregor, Bloomer Broadband, 1120 15th Avenue, Bloomer, WI 54724

REQUEST: Conditional use permit for a transportation, communications, pipeline, electric transmission, utility, or drainage uses (broadband fiber shelter).

LOCATION: 9015 Burnell Drive, Chippewa Falls, WI 54729

LEGAL DESCRIPTION: Part of Lot 50 of the Fifth Assessor's Plat of the Town of Seymour in the NW ¼ of the NE ¼ of Section 10, Township 27 North, Range 8 West, Town of Seymour, Eau Claire County, Wisconsin.

SUMMARY

The request is for a conditional use permit to install a telecommunications shelter used to maintain operation of the fiberoptic network and provide broadband service to the residents in the area. The proposed structure is a 10x16 (160 square feet) precast that would be placed in a location meeting road setbacks. The structure would be near the intersection of Burnell Drive and N 90th Avenue but would be located outside of the traffic-visibility triangle.

BACKGROUND

REQUEST CHARACTERISTICS:

- Lot size is approximately 130.15 acres.
- The property is zoned A-P Agricultural.
- The site is located Southeast of the intersection of Burnell Drive and N 90th Avenue.
- No signage is proposed by the applicant.

CURRENT ZONING: The A-P Agricultural Preservation District is established to: A. Preserve and protect those areas best suited for agricultural, forestry or openspace uses by minimizing fragmentation of contiguous agricultural or forest lands for the benefit and use of current and future generations; B. Provide for a wide range of agricultural uses typically associated with the continued production of food and fiber while recognizing that such uses may involve noise, dust, odor, or operation of heavy equipment for long periods of time; C. Strengthen and diversify a predominately agricultural and forestry-based economy by providing for a range of economic opportunities for property owners which are generally compatible with and supportive of agriculture or forestry operations as either permitted or conditional uses; D. Comply with standards contained in Wis. Stat. Ch. 91 to permit eligible landowners to receive tax credits under Wis. Stat. § 71.09, in conjunction with their agricultural operations; E. Preserve rural character and promote the efficient use of public infrastructure and utilities by minimizing the adverse effects of urban sprawl along with its associated expense; F. Promote environmental quality

through the use of conservation practices designed to minimize erosion of productive soils and deter the delivery of sediment and nutrients to the waters of our state; G. Minimize land use conflicts which occur when agricultural and non-agricultural uses are intermixed or not adequately separated; and H. Provide for carefully regulated extraction of nonmetallic mineral resources through Eau Claire County’s permitting processes to ensure compatibility with adjacent land uses, minimize impacts to natural resources, and to restore lands to productive agricultural use consistent with locally approved reclamation plans

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	AP	Residential
West	A2	Residential
South	A2	Residential
East	A2	Residential

LAND USE PLANS: The County Land Use Plan includes this property in a Rural Lands planning area.

Rural Lands (RL)

Intent and Description: The primary intent of these areas is to preserve productive agricultural lands, protect existing farm & forestry operations from encroachment by incompatible uses, promote further investments in farming, maintain farmer eligibility for incentive programs, and preserve wildlife habitat and open spaces. In other words, to preserve the rural character of these areas.

APPLICABLE ZONING REGULATIONS

Section 18.01.010 Purpose. This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses: 1) the use must be in conformance with the purpose of the zoning district it is located in; 2) the use will not be injurious to the use and enjoyment of other property in the immediate vicinity; 3) adequate utilities, access, drainage and other necessary facilities have been or are provided; 4) adequate off-street parking is provided; 5) adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; 6) soil conditions are adequate to support the use; 7) access does not pose traffic congestion or hazards.

Section 18.23.001 Purpose. The purpose of this chapter is to set standards under which home occupations, home businesses and cottage industries may be conducted so that such occupations, businesses and industries do not undermine the purpose and intent of this subtitle and the purposes of all agricultural and residential districts.

Section 18.32.001 Purpose. The A-P Agricultural Preservation District is established to: A. Preserve and protect those areas best suited for agricultural, forestry or openspace uses by minimizing fragmentation of contiguous agricultural or forest lands for the benefit and use of current and future generations; B. Provide for a wide range of agricultural uses typically associated with the continued production of food and fiber while recognizing that such uses may involve noise, dust, odor, or operation of heavy equipment for long periods of time; C. Strengthen and diversify a predominately agricultural

and forestry-based economy by providing for a range of economic opportunities for property owners which are generally compatible with and supportive of agriculture or forestry operations as either permitted or conditional uses; D. Comply with standards contained in Wis. Stat. Ch. 91 to permit eligible landowners to receive tax credits under Wis. Stat. § 71.09, in conjunction with their agricultural operations; 717 12/15/15 E. Preserve rural character and promote the efficient use of public infrastructure and utilities by minimizing the adverse effects of urban sprawl along with its associated expense; F. Promote environmental quality through the use of conservation practices designed to minimize erosion of productive soils and deter the delivery of sediment and nutrients to the waters of our state; G. Minimize land use conflicts which occur when agricultural and non-agricultural uses are intermixed or not adequately separated; and H. Provide for carefully regulated extraction of nonmetallic mineral resources through Eau Claire County's permitting processes to ensure compatibility with adjacent land uses, minimize impacts to natural resources, and to restore lands to productive agricultural use consistent with locally approved reclamation plans.

ANALYSIS: The following is an analysis of the request based upon the standards for approval of conditional use permits:

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses:

- 1) The use must be in conformance with the purpose of the zoning district it is located in; *Transportation, communications, pipeline, electric transmission, utility, or drainage uses are allowed in the A-P District with a conditional use permit approval.*
- 2) The use will not be injurious to the use and enjoyment of other property in the immediate vicinity; *it appears that proposed use will not affect the use and enjoyment of other property since the proposal will provide a needed service to the area.*
- 3) Adequate utilities, access, drainage and other necessary facilities have been or are provided; *the property is served by utilities necessary to support the use.*
- 4) Adequate off-street parking is provided; *adequate off-street parking exists. The site plan shows there is adequate off-street parking available for use.*
- 5) Adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; *the proposed structure exceeds minimum setback requirements.*
- 6) Soil conditions are adequate to support the use; *it appears the soils are adequate to support the use.*
- 7) Access does not pose traffic congestion or hazards; *The Town of Seymour granted an access permit for the driveway location shown on the site map.*

TOWN BOARD ACTION: The Town of Seymour met June 12, 2023 and recommended approval as presented.

STAFF CONCLUSIONS AND RECOMMENDATION: Staff has concluded that the proposed use is consistent with the standards for conditional use permits, the purpose of the zoning code, and will provide a needed service to the area residents.

Staff recommends approval of the conditional use permit with the following conditions:

1. The conditional use permit is granted for a transportation, communications, pipeline, electric transmission, utility, or drainage use, specifically, to construct a telecommunications shelter to maintain the broadband network. The site plan, building drawings and the narrative shall be attached to and made part of the permit.
2. The applicant shall obtain all other necessary permits and approvals including, but not limited to, a land use permit and electrical permit.

3. All outside lighting shall be shielded downward to reduce glare to adjacent properties and not to cause light pollution. Any new lighting will be required to be shielded as to direct the light source downward.
4. Uses authorized under this conditional use permit shall be limited to the proposal presented in the original application. However, future changes in the cottage industry located at this site shall require approval from the Land Use Manager and may require approval by the committee at a public hearing.
5. Property must be in compliance with all applicable laws and regulations including, but not limited to, land use, building, erosion control, and sanitary provisions.
6. The owner shall allow staff from the Eau Claire County Department of Planning and Development to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
7. The permit is subject to Sections 18.21.080 to 18.21.100 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a CUP expires due to the abandonment of a use.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Date Application Accepted:	06.09.2023
Accepted By:	Hannah W.
Receipt Number:	074148
Town Hearing Date:	
Scheduled Hearing Date:	07.11.2023

CONDITIONAL USE PERMIT APPLICATION

Property Owner Name: Bloomer Broadband	Phone# 715-568-4830
Mailing Address: 1120 15th Ave Bloomer WI 54724	
Email Address: office@bloomerbroadband.com	

Agent Name: Heather McGregor (as an agent for Bloomer)	Phone# 715-933-4460
Mailing Address: 1120 15th Ave Bloomer WI 54724	
Email Address: heather.mcgregor@jsitel.com	

SITE INFORMATION

Site Address: Installing a new 10x16 broadband fiber hut for grant project with town of Seymour, Eau Claire Co and State of WI PSC

Property Description: NW ¼ NW ¼ Sec. 10, T 27, N, R 8 W, Town of Seymour

Zoning District: Code Section(s):

Overlay District:
 Check Applicable Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining

Computer #(s):
 or
 PIN #(s): 1802022708101202001

GENERAL APPLICATION REQUIREMENTS

Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included. The department is allowed 10 working days after submitting an application to determine if an application is approved, conditionally approved or denied.

<input checked="" type="checkbox"/> Complete attached information sheet	<input checked="" type="checkbox"/> Site Plan Drawn to Scale	<input checked="" type="checkbox"/> Confirmed with the Town their submittal deadline and process.	<input type="checkbox"/> Provide \$545.00 application fee (non-refundable). Send application to landuse@co.eau-claire.wi.us or to the address above.
---	--	---	---

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Heather McGregor Date 6/8/2023

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

STANDARDS FOR CONDITIONAL USE PERMITS

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located.
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted.
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.
- F. Soil conditions are adequate to accommodate the proposed use.
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

SUPPLEMENTAL INFORMATION FOR A CONDITIONAL USE PERMIT

In order to process your application as quickly as possible, please fill in all the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

Telecommunications hut to provide service in the area.

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

Provide broadband

Equipment used in the business activity:

10x16 building (HUT)

Days and hours of operation: 24/7 365

Number of employees: 0

Nuisance abatement measures that will be implemented: N/A

Noise abatement measures: N/A

Vibration abatement measures: N/A

Dust control measures: N/A

Measures to control fumes or odors: N/A

Visual screening measures (plants, fences, walls, etc.)

N/A

DESCRIPTION OF ANY OTHER FEATURES OR CHARACTERISTICS THAT MAY BE SUBJECT TO ZONING REGULATIONS

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

Stone color exterior

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

site location will need to be graded

Other features or characteristics (signs, fences, outdoor display areas, etc.)

N/A

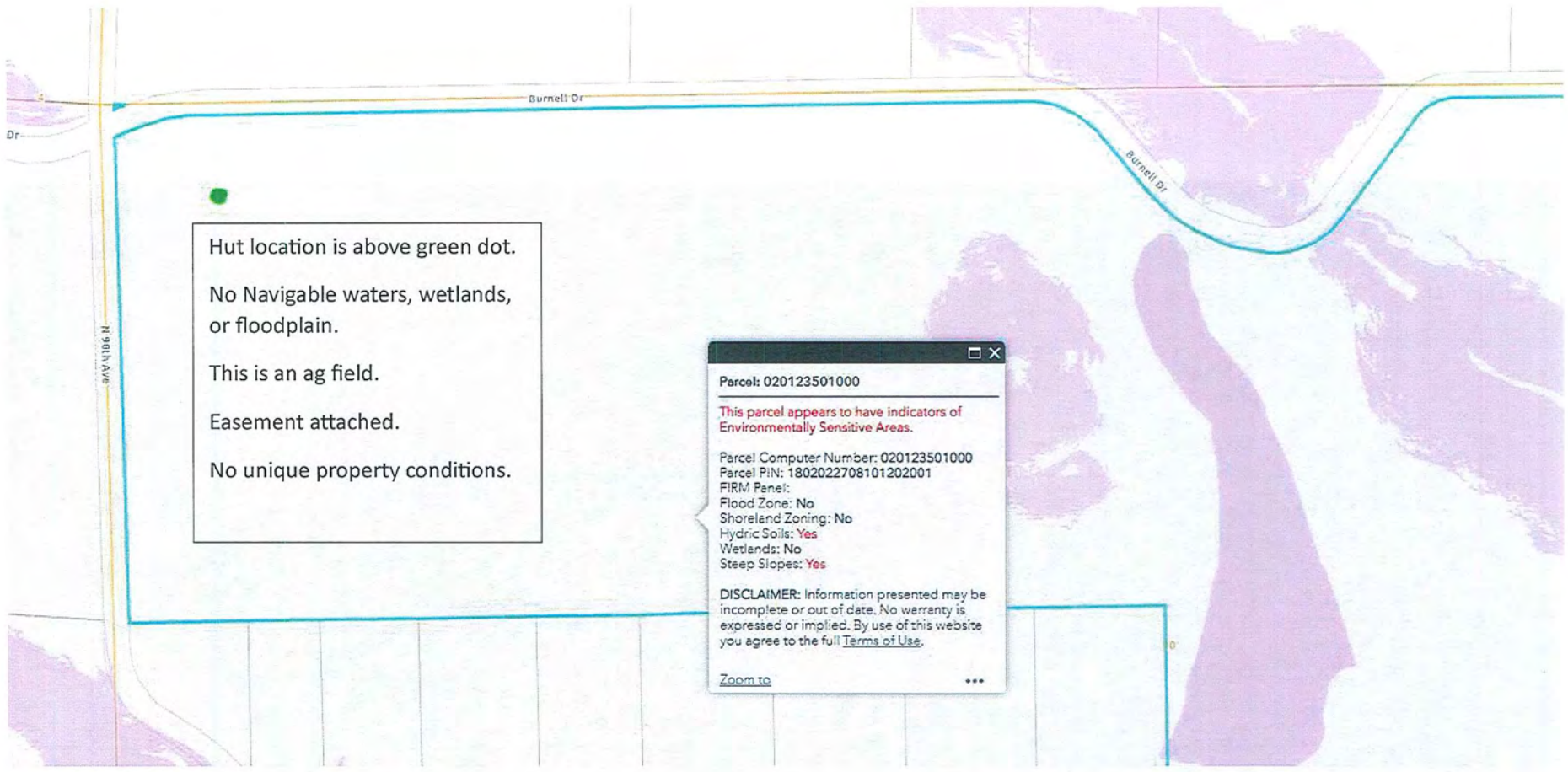
SCALED SITE PLAN-[EAU CLAIRE COUNTY, WI > WG XTREME](#)

<input checked="" type="checkbox"/> Show parcel and building dimensions of all existing and proposed structures	<input type="checkbox"/> Landscape and screening plans
<input checked="" type="checkbox"/> Show all signs, fences and other features that may be regulated by zoning	<input type="checkbox"/> Show the well and septic system
<input checked="" type="checkbox"/> Site access, driveway, and nearest road (labeled)	<input type="checkbox"/> Parking areas with spaces
<input type="checkbox"/> Drainage plans including the erosion control plan	<input type="checkbox"/> Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property
<input checked="" type="checkbox"/> The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc.	
<input checked="" type="checkbox"/> The location of any equipment that will be used	

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

<input checked="" type="checkbox"/> Show floor plan, including attics
<input type="checkbox"/> Show scaled building elevations
<input type="checkbox"/> Show color scheme
<input type="checkbox"/> Provide information addressing 59.69 (5e) with substantial evidence supporting your request





Hut location is above green dot.

No Navigable waters, wetlands, or floodplain.

This is an ag field.

Easement attached.

No unique property conditions.

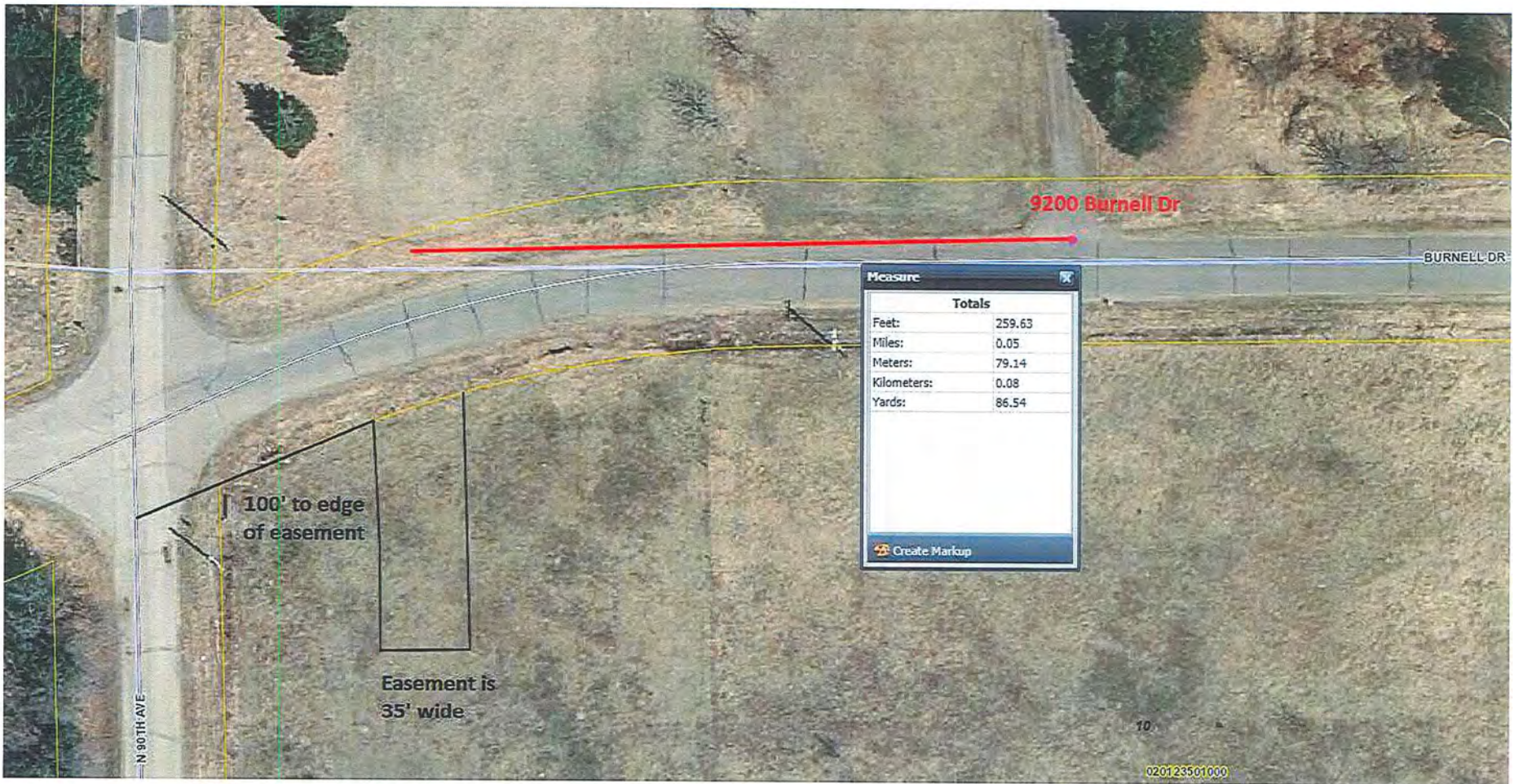
Parcel: 020123501000

This parcel appears to have indicators of Environmentally Sensitive Areas.

Parcel Computer Number: 020123501000
 Parcel PIN: 1802022708101202001
 FIRM Panel:
 Flood Zone: No
 Shoreland Zoning: No
 Hydric Soils: **Yes**
 Wetlands: No
 Steep Slopes: **Yes**

DISCLAIMER: Information presented may be incomplete or out of date. No warranty is expressed or implied. By use of this website you agree to the full [Terms of Use](#).

[Zoom to](#) ...



1242087

TINA K. POMMIER
EAU CLAIRE COUNTY WI
REGISTER OF DEEDS
RECORDED ON
03/23/2023 10:15 AM
REC FEE: 30.00
TRANS FEE:
EXEMPT #:
PAGES: 5

This document was electronically
recorded and returned to submitter

Prepared by and Return to:
Richard J. Summerfield
Kostner-Kostner & Summerfield, S.C.
1102 17th Ave.
Bloomer WI 54724
Parcel No. 18020-2-270810-120-2001

EASEMENT AGREEMENT

This Easement Agreement ("Agreement") dated as of 3-14-2023 ("Effective Date")
by and between John Anderson ("Grantor") and Bloomer Telephone Company, a Wisconsin
Corporation, its successors and assigns ("Grantee")

Grantors is the owner of the real property described in Exhibit "A" attached hereto and by this
reference made a part hereof ("Premises"). Grantor desires to grant to Grantee certain easement
rights with respect to the Premises, as more particularly described below and subject to the terms
and conditions of this Agreement.

AGREEMENT

For and in consideration of the covenants and agreements herein contained and other good and
valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties
hereto agree as follows:

1. Grant of Easements. Grantor, hereby grants, bargains, sells transfer and conveys to
Grantee, its successors and assigns, a permanent and exclusive easement for the
installation, maintenance, construction and repair of a communication building below,
over, across and under the Premises, which is more fully described on the attached
Exhibit B, which is owned by the Grantor ("Easement Area"). Grantee may use the
Easement Area to build and construct improvements, including but not limited to a 10
foot by 16 foot structure to house and store electronic and telecommunication equipment
and to bury and install electronic and telecommunication cables and related equipment
over and under the Easement Area including all other work necessary and incidental to
the construction and installation of the same, including but not limited to the right to
conduct studies, test, examinations and surveys, and the right to trim, cut and remove
trees and other obstructions or obstacles located within the Easement Area for the
installation, maintenance and repair those referenced electronic and telecommunication

equipment. The Easement Area shall be used for the purposes set forth herein and shall expressly include that portion of the Premises upon which any of Grantee's fixtures, structures, equipment or other personal property are located or will be located.

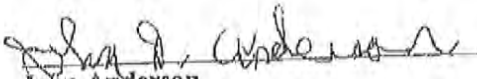
2. Permanent Easement. This Agreement shall be binding on and inure to the benefit of the parties hereto and their respective heirs, personal representatives lessees, successors and assigns. It is the intention of the parties hereto that all of the various rights, obligations, restrictions and easement created in this Agreement shall run with the affected land and shall inure to the benefit of and be binding upon all future owners and all persons claiming any interest under them.
3. Assignment. Grantee may assign this Agreement, in whole or in part, to any person or entity at any time without the prior written consent or approval of, or notice to, Grantor, including but not limited to an affiliate of Grantee. If such assignee agrees to assume all obligations of Grantee under this Agreement, then Grantee shall be relieved of all of its obligations duties and liabilities hereunder.

SIGNATURE PAGES TO FOLLOW:

IN WITNESS WHEREOF, the parties hereto have executed this Agreement under seal as of the day and year set forth below:

ACKNOWLEDGMENT

Grantor:

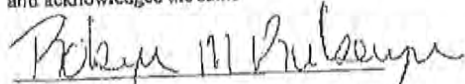

John Anderson



STATE OF WISCONSIN)
) SS.
Chippewa COUNTY)

Personally came before me on March 15th 2023

The above-named John Anderson to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.




*Print Name: Robyn M Rubenzer

Notary Public, State of Wisconsin

My Commission expires: October 25, 2025

Grantee
Bloomer Telephony, Company

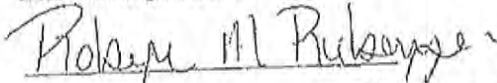

Kent Klima
Its: General Manger and V.P.



STATE OF WISCONSIN)
) SS.
CHIPPEWA COUNTY)

Personally came before me on March 15, 2023

The above-named Kent Klima to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.



*Print Name: Robyn M Rubenzer

Notary Public, State of Wisconsin

My Commission expires: October 25, 2025

EXHIBIT A

“PREMISES”

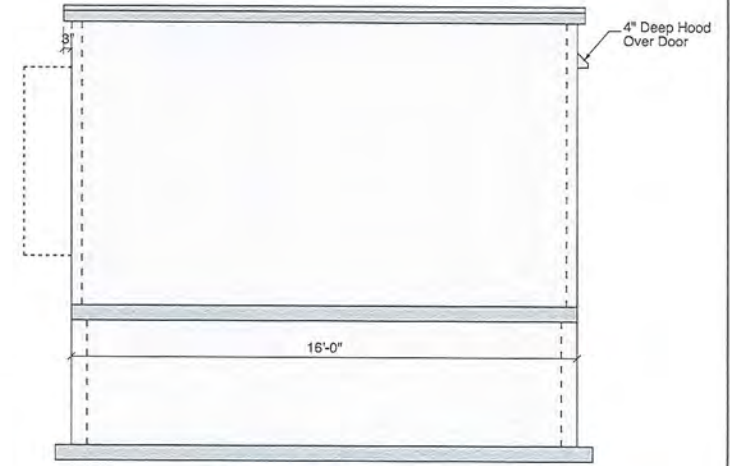
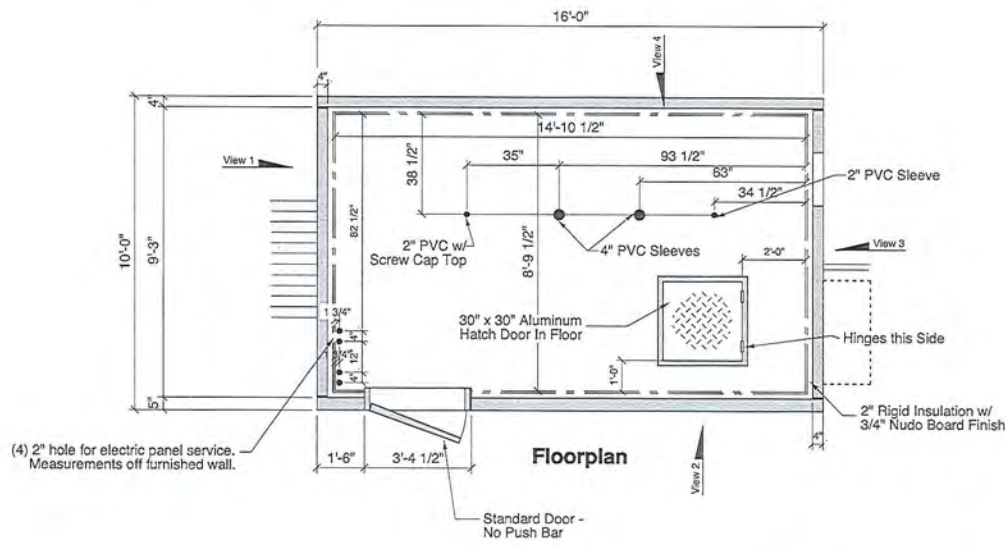
Lot 50 and Outlot 14, Fifth Assessor's Plat to the Town of Seymour, Chippewa County,
Wisconsin

EXHIBIT B

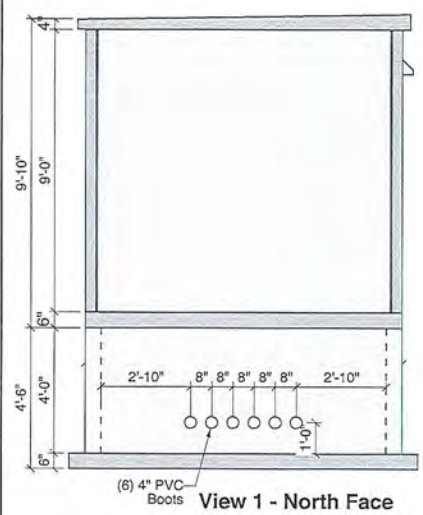
"Basement Area"

A parcel of land located in part of Lot 50 of the Fifth Assessor's Plat to the Town of Seymour in the NW ¼ of the NE ¼ of Section 10, Township 27 North, Range 8 West, Town of Seymour, Eau Claire County, Wisconsin

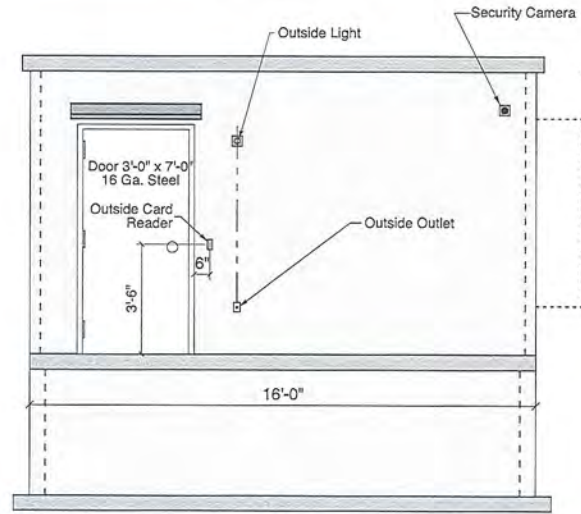
Commencing at the NW Corner of Lot 50 and the point of beginning, thence S 1°30'31" E 76.00 feet, thence N 89° 08' 04" E 35 feet, thence N 1° 30' 31" W 91.31 feet, thence along the arc of a curve to the left with a radius of 490.10 feet and chord bears S 65° 40' 06" W 5.12 feet, thence S65° 22' 08" W 32.92 feet to the point of beginning.



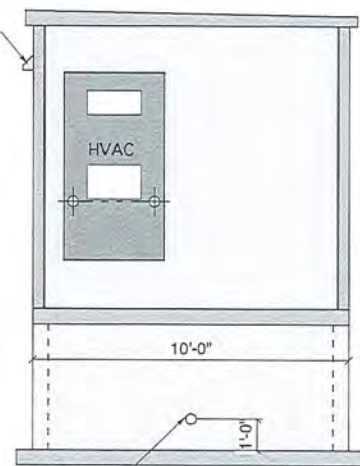
View 4 East Face



View 1 - North Face



View 2 West Face



View 3 South Face

16'-0" x 10'-0" Precast Communication Building

- Specifications:**
- Exterior Dimensions: 10'-0" x 16'-0" x 10'-0"
 - Concrete: Steel Reinforced 6,000 PSI
 - Steel: Grade 60 Reinforcing Steel
 - Finishes:
 - Inside - Smooth Concrete Surface
 - Exterior - 370 Color Exposed Aggregate
 - Roof Load: 60 PSF DL
 - Floor Live Load: 125 PSF
 - Panels are securely fastened together with Welded Connections
 - Weight - 46,000 Lbs (CONCRETE WEIGHT ONLY)

9200 Burnell Dr., Chippewa Falls, WI

Crest Precast, Inc.		La Crescent, MN & Barneveld, WI	
800-659-9045			
Job #	12-15-22	Drawn by	KJK
Date		Revised	3-28-23
Project:	10' x 16' Building - Chippewa Falls, WI		
Contractor:	Bloomer Telephone	Drawing Number	1

Ben Bublitz

From: Angie Underwood <seymour.town@att.net>
Sent: Tuesday, June 13, 2023 9:07 AM
To: Ben Bublitz
Cc: Jessica Janssen; Ken Schick; Kerry Parker; Deputy Clerk
Subject: Bloomer Broadband CUP

WARNING!! This email originated outside Eau Claire County. Do not click any links or attachments unless you know the sender.

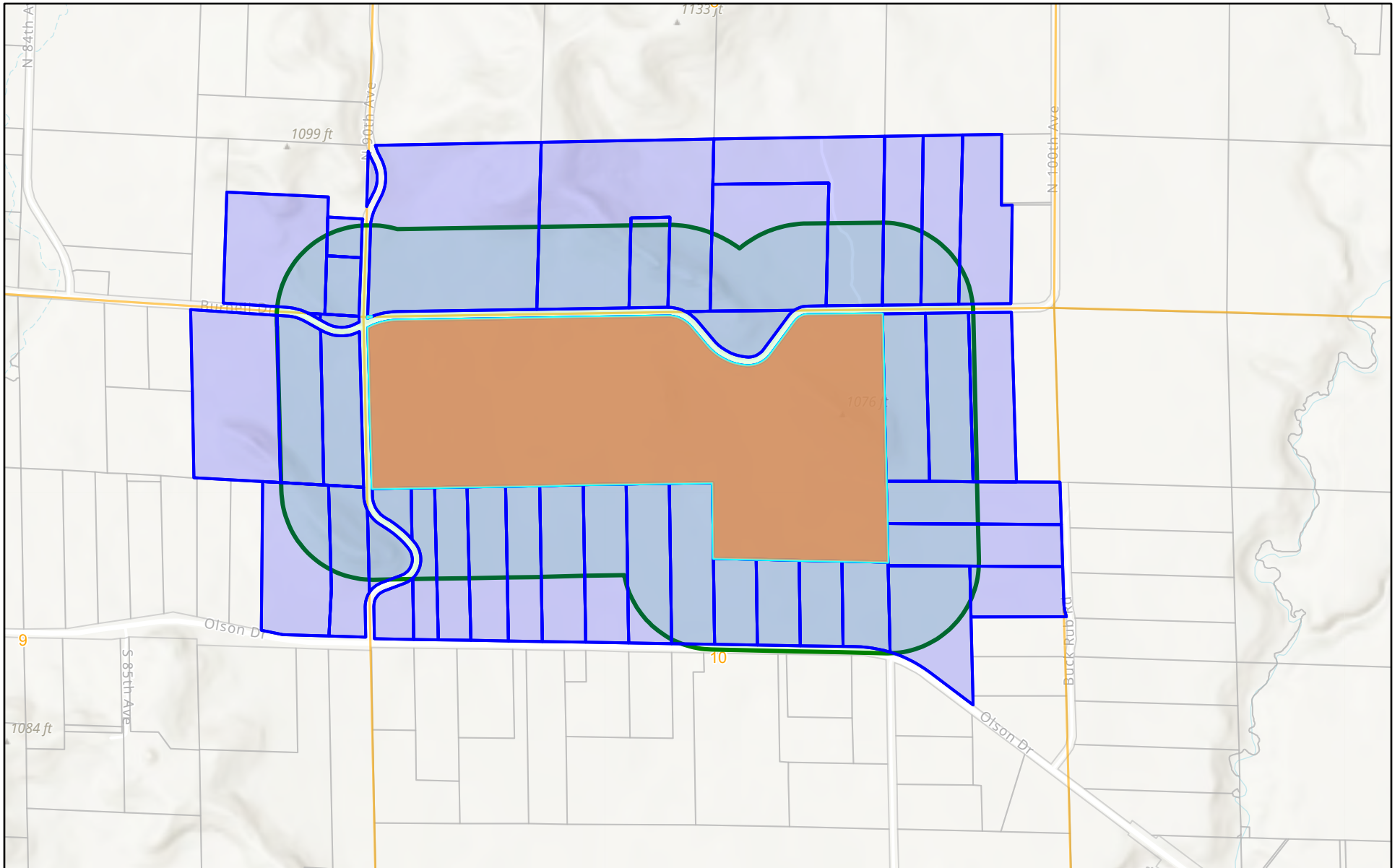
Hi Ben.

The Town of Seymour Board is in support of Bloomer Broadband's CUP for a hut on the John Anderson property at the SE corner of N 90th Ave and Burnell Drive.




Thank you,

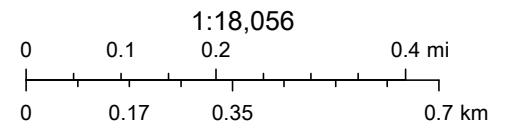
Amy Wagener, Clerk/Treasurer
Town of Seymour (Eau Claire County)
6500 Tower Dr
Eau Claire, WI 54703
715.834.4999 Office; 715.834.3687 Fax

Public Notification



6/20/2023, 9:02:09 AM

-  County Boundary
-  Tax Parcel
-  Section



Esri Community Maps Contributors, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA |

FirstName LastName	Address	City State Zip
JOHN WEBER	8757 BURNELL DR	EAU CLAIRE WI 54703-8728
DAVID T & SHERRI L VAN VUREN	8315 OLSON DR	EAU CLAIRE WI 54703-8730
JEFFREY L TUCKER	8809 BURNELL DR	EAU CLAIRE WI 54703-8728
DAVID ECKLOR	2244 N 90TH AVE	EAU CLAIRE WI 54703-9736
DOUGLAS PETKOVSEK	8776 OLSON DR	EAU CLAIRE WI 54703-9733
KRISTOPHER K & LISA K O'NEILL	9849 BURNELL DR	CHIPPEWA FALLS WI 54729-9653
JOHN ANDERSON	9409 BURNELL DR	CHIPPEWA FALLS WI 54729-9602
PAULA J & DARYL K ANDERSON	9686 OLSON DR	EAU CLAIRE WI 54703-7710
DIANE ANDERSON (JACKSON)	9646 OLSON DR	EAU CLAIRE WI 54703-9734
DUANE K & TERRY ANDERSON	9516 OLSON DR	EAU CLAIRE WI 54703-9734
RYAN ANDERSON	9510 OLSON DR	EAU CLAIRE WI 54703-9734
MARK D & DARLA H VOLBRECHT	2012 BUCK RUB RD	EAU CLAIRE WI 54703-8802
MATTHEW E & MARY E MALMIN	9767 BURNELL DR	CHIPPEWA FALLS WI 54729-9654
THOMAS AHLES	9895 BURNELL DR	CHIPPEWA FALLS WI 54729-9653
CASEY SCHAUB	1946 BUCK RUB RD	EAU CLAIRE WI 54703-8803
JOYCE WENDTLAND	9200 BURNELL DR	CHIPPEWA FALLS WI 54729-9602
JOHN A WENDTLAND	9500 BURNELL DR	CHIPPEWA FALLS WI 54729-9642
SARAH PETERSON	1894 BUCK RUB RD	EAU CLAIRE WI 54703-8801
JERRY & JEANNE M POLDEN	9220 OLSON DR	EAU CLAIRE WI 54703-9734
MELISSA PETERSON	9106 OLSON DR	EAU CLAIRE WI 54703-9734
TERRY & MARY JANE LUER	1253 MCGREGOR DR	EAU CLAIRE WI 54703-2188
CHAD BUCHHOLZ	9444 OLSON DR	EAU CLAIRE WI 54703-9734
KYLE GRIMM	9240 OLSON DR	EAU CLAIRE WI 54703-9734
HUBERT L & BEVERLY A LOECHLER	9606 BURNELL DR	CHIPPEWA FALLS WI 54729-9648
DUANNE & JOLENE HERMAN	9900 BURNELL DR	CHIPPEWA FALLS WI 54729-9643
MICHAEL ANGELOFF	9918 BURNELL DR	CHIPPEWA FALLS WI 54729-9643
ROBERT MOSS	9708 OLSON DR	EAU CLAIRE WI 54703-9734
JEROME D & KATHERINE M GILLES	2400 N 90TH AVE	EAU CLAIRE WI 54703-9737
PATRICK JENSEN	2314 N 90TH AVE	EAU CLAIRE WI 54703-9737
HOWARD WANGEN	9686 BURNELL DR	CHIPPEWA FALLS WI 54729-9648
MICHAEL G & LYNETTE M BARRIE	9212 OLSON DR	EAU CLAIRE WI 54703-7709
JACOB RODGERS	9020 OLSON DR	EAU CLAIRE WI 54703-8739
STEVEN E & SHERRIE L MILES	1803 N 90TH AVE	EAU CLAIRE WI 54703-9799
CHARLES R & JANE M HOWARD	9400 OLSON DR	EAU CLAIRE WI 54703-9734
VICTOR STAUT	9328 OLSON DR	EAU CLAIRE WI 54703-9734
SHARON A KOEHLER	9920 BURNELL DR	CHIPPEWA FALLS WI 54729-9643
WILLIAM J & JANET A WEISS	8808 BURNELL DR	EAU CLAIRE WI 54703-9738



**Eau Claire County
DEPARTMENT OF PLANNING
AND DEVELOPMENT
Eau Claire County Courthouse - Room 3344
721 Oxford Avenue
Eau Claire, Wisconsin 54703-5212
(715) 839-4741**

Building Inspection
839-2944
Emergency Management
839-4736
Geographical Information Systems
839-4730
Land Conservation
839-6226
Land Records
839-4742
Land Use Management
839-4743
Planning
839-5055
Recycling
839-2756

REPORT:

TO: COMMITTEE ON PLANNING AND DEVELOPMENT

FROM: Ben Bublitz, Land Use Manager

DATE: July 11, 2023

RE: Dennis Kinderman, Section 4, T27N-R10W, Town of Union

Pete Gartmann, Real Land Surveying, has submitted a concept Certified Survey Map (CSM) to the department for review in the Town of Bridge Creek, which is an unzoned Township.

The map is being presented to the committee because the owner desires to remove the outlet designation from the existing outlet. Outlots by nature are considered unbuildable, and the only way to remove the outlet designation is to remap the lot with the review and approval of a CSM. Should a CSM be approved over the existing outlet the applicant will have demonstrated the lot meets the requirements of our subdivision code and may be considered buildable. After an initial review of the outlet the one area of code they do not meet is having the required contiguous buildable area. The request is to reduce the buildable area from 1/2-acre to 3,489 square feet with a total disturbance area of 7,922 square feet (driveway, grading, or any other activities that may be permitted within setback areas). The potential buildable area is limited by both steep slopes and county highway setback requirements. The applicant has worked with the highway department to gain approval of a reduced setback increasing the potential buildable area. The approved setback is 30 feet from road right of way rather than 50 feet. The highway department also granted approval for a new access location. The property owner has also worked with the Land Conservation Division to ensure the proposed structure location will not have a negative impact on steep slopes potentially increasing erosion into the lake or neighboring property owners.

The expressed hardship in the application is the outlet has been in the owner's family for 36 years, and they had the understanding it was a buildable lot based on the assigned tax rate. The application also indicates 90% of the lots on Lake Eau Claire cannot meet a 1/2-acre contiguous buildable area, and approval of this application wouldn't set any kind of precedent.

Applicable Code Sections:

18.77.070 of the subdivision code outlines the Committee's authority to grant variances to the subdivision control code if the Committee finds there is an undue hardship, if it is not detrimental to the public good, and without impairment to the intent and purpose of the code.

STAFF RECOMMENDATION: Staff has reviewed this request and remains undecided on a recommendation. The following reasons may be used to support or deny the request:
If the committee chooses to approve the request, the following reasons may be used to support approving the request:

1. The variance will not be detrimental to the public good, the spirit and purpose of the code will be upheld.
2. The proposed lot will be required to adhere to 17.06.070 and 17.06.070(B.)(5.) of the County Code.
 3. The lots will be required to follow Title 20, specifically section 20.09 – Impervious Surfaces, for impervious surface standards within the shoreland protection overlay district.
 - 4.

If the committee chooses to deny the request, the following reasons may be used to support denying the request:

1. The variance may be detrimental to the purpose of the Subdivision Control including the public health, general welfare, and prosperity of the county.
2. The existing parcel does not meet the required contiguous buildable area (CBA) of at least one-half (1/2) of an acre in size; the proposed land division only further reduces the CBA.
3. The proposal is to convert an existing outlot which has been considered unbuildable since it was originally platted in 1983.



1356 International Drive
Eau Claire, WI 54701
715.514.4116
rls-aec.com

June 28, 2023

RE: Kinderman Site / CSM

The Kindermans are asking the County to reduce the required buildable area from 21,780 square feet net buildable to 3,489 square feet to change the Outlot designation to a buildable lot via Certified Survey Map.

Hardship: The Outlot has been in the Family for 36 years and they always thought they could build on it. Now when the family finally has the resources to build, they find it's not buildable because of the Outlot designation. Never did they think it was unbuildable. If they cannot get the designation, they will make it into a camping area with the septic system and well. Still grading the lot, place the driveway in and clear and grade the path to the lake. The owners also paid taxes for the outlot (non buildable) at a buildable tax rate that are comparable to the taxes paid for a lot (buildable with house on it) similar in size. See exhibits 4-6.

Kinderman family owns Outlot 46 , Block 4, Assessor's Plat of Lake Eau Claire North, located in the Town of Bridge Creek on Eau Claire Lake. The Kinderman's have demonstrated that the net buildable area (3,489 Sq. Ft.) is more than what they need to build on.

The Town of Bridge creek is an un-zoned township.

The Town of Bridge Creek has approved the site plan and buildable area. Town would like to add to the Tax base and lessen development pressure in other areas (in fill).

Eau Claire County Land conservation and Planning departments given the recommendation.

Eau Claire Health Department has approved the septic area.

Eau Claire County Highway Department have approved the setbacks and driveway location.



1356 International Drive
Eau Claire, WI 54701
715.514.4116
rls-aec.com

State of Wisconsin and Chippewa County have minimum lot sizes less than ½ acre (Eau Claire County minimum net buildable area). Remove lands encompassed by setbacks and environmentally sensitive areas and they are close to what the Kinderman's are proposing.

90% of the lots around Lake Eau Claire would not meet the ½ acre net buildable requirement. (see exhibits 1-3)

20% of the lots around Lake Eau Claire have the same or less buildable areas of what is being proposed by the Kinderman's.

No precedent will be set for CSM's (land division) as it pertains to net buildable area. This is not a division of lands just changing the lot designation from an Outlot (non-buildable) and a Lot (buildable). If this piece of land was an existing lot they would be able to be built on as long as the Eau Claire County Planning and Land Conservation departments have permitted the use.

The Kindermans have found an approved location for a septic system, below the home site. We have reviewed the area and found a location for a house and garage tucked into the hillside that would require little to no grading or disturbance of existing slopes. Included in the application is a letter from the Town of Bridge Creek in support of the designation change and the construction of a new home. Kindermans are in contact with the Eau Claire County highway department to get the proper highway setback and driveway permit.

The proposed disturbance area would be approximately 7,922 square feet. storm water will be directed into roof drains, storm catch basins and underground storm sewer.

Projected improved impervious area 3,489 / 9.12 % OF TOTAL AREA.

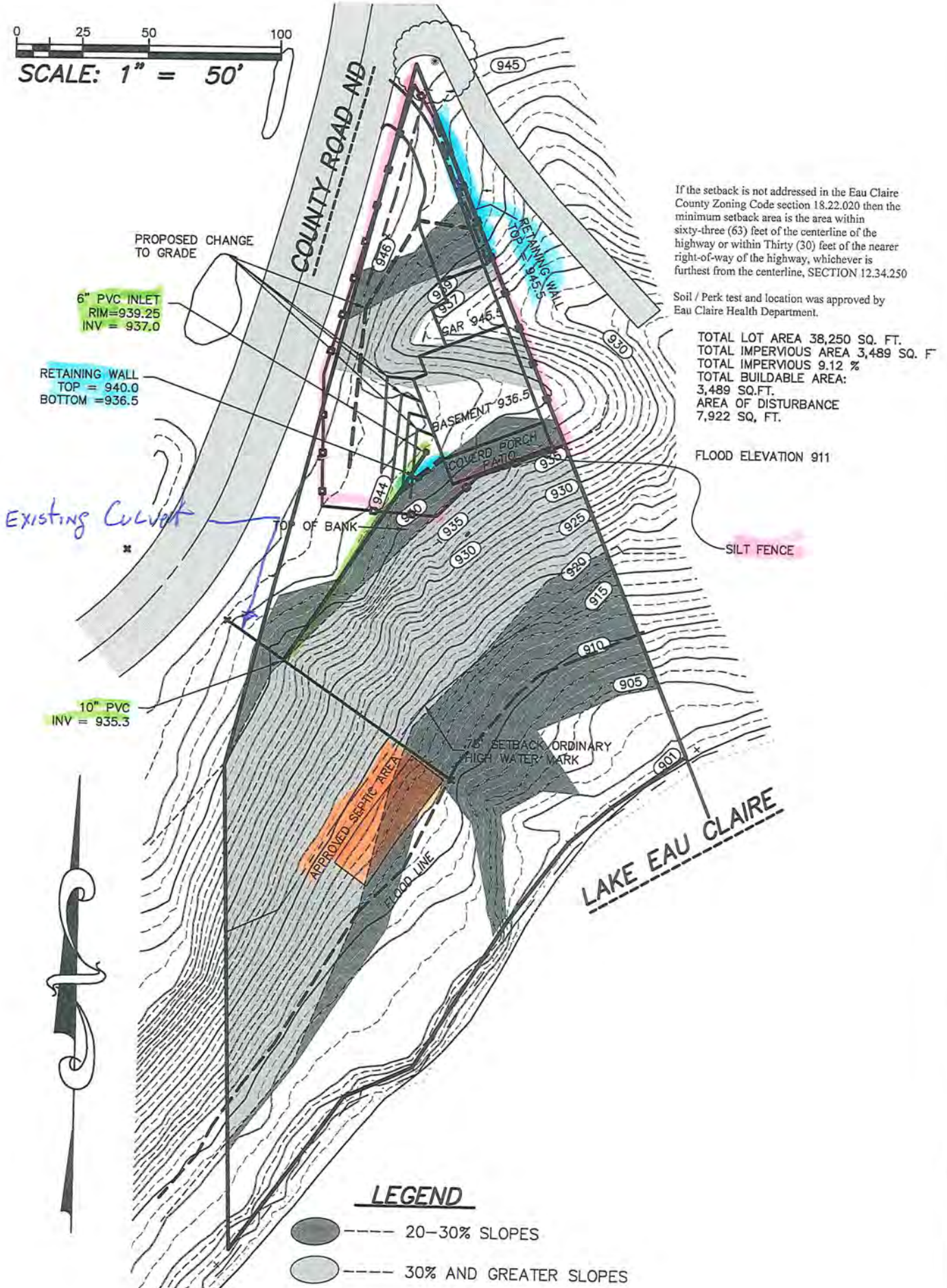
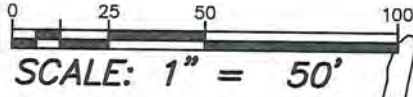


Peter Gartmann / RLS / PLS

REAL LAND SURVEYING

1356 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
(715) 514-4116

Web: rlswi.com
COPYRIGHT 2011,
REAL LAND SURVEYING LLC



If the setback is not addressed in the Eau Claire County Zoning Code section 18.22.020 then the minimum setback area is the area within sixty-three (63) feet of the centerline of the highway or within Thirty (30) feet of the nearer right-of-way of the highway, whichever is furthest from the centerline, SECTION 12.34.250

Soil / Perk test and location was approved by Eau Claire Health Department.

TOTAL LOT AREA 38,250 SQ. FT.
TOTAL IMPERVIOUS AREA 3,489 SQ. F
TOTAL IMPERVIOUS 9.12 %
TOTAL BUILDABLE AREA:
3,489 SQ.FT.
AREA OF DISTURBANCE
7,922 SQ. FT.

FLOOD ELEVATION 911

SILT FENCE

EXHIBIT / PLAN

BEING ALL OF OUTLOT 46 OF BLOCK 4, ASSESSOR'S PLAT OF LAKE EAU CLAIRE NORTH LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 4, TOWNSHIP 26 NORTH, RANGE 6 WEST, TOWN OF BRIDGE CREEK, EAU CLAIRE COUNTY, WISCONSIN



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Application Accepted:	
Accepted By:	
Receipt Number:	
Scheduled Hearing Date:	

COMMITTEE REVIEW APPLICATION

Property Owner Name: Dennis and Victoria Kinderman	Phone# 715-828-4664
Mailing Address: 5033 Gust Road Fall Creek WI 54742	
Email Address: vkinderman@prodigy.net	

Agent Name: Peter J. Gartmann RLS / PLS / Owner	Phone# 715-895-8210
Mailing Address: 1356 International Drive Eau CLaire WI 54701	
Email Address: pgartmann@rlswi.com	

SITE INFORMATION

Site Address: County Highway "D"	
Property Description: <u>OL 46</u> $\frac{1}{4}$ <u>BK 4</u> $\frac{1}{4}$ Sec. <u>4</u> T <u>26</u> N, R <u>6</u> W, Town of <u>Bridge Creek</u>	
Zoning District: Non	Code Section(s):
Overlay District: Check Applicable	<input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining
Computer #(s):	18002-2-260604-320-2000
or	
PIN #(s):	002130508000

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

- A detailed written statement that specifically identifies what is being requested for review.
- Written narrative that justifies the need for the request. When applicable, it is the applicant's responsibility to prove that an "unnecessary hardship" exists.
- The applicant may be required to flag/stake the property/project corners and label them accordingly (e.g. NE Lot corner, NE building corner).
- A scaled site plan of the site and surrounding area for a distance of 100 feet, including buildings and other structures. Also, include the proposed addition/structure/location of septic system, well, driveway, property lines, navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property. All maps and engineering data to be no larger than 11" x 17".
- Provide a \$215.00 application fee (non-refundable). Send application to landuse@eauclairecounty.gov or to the address above. ** Review by the committee is not a public hearing**

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature

Date 6/27/23

At the meeting, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

Town of Bridge Creek

S9515 State Road 27

PO Box 464

Augusta, WI 54722

February 1, 2023

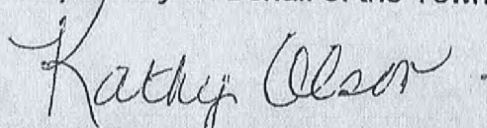
Eau Claire County Planning & Development
721 Oxford Avenue, Suite 3344
Eau Claire, WI 54703

Dear Eau Claire County Planning & Development,

Dennis Kinderman has approached the Town of Bridge Creek Board Supervisors asking for approval and support for building a residential home on a lot he has purchased on County Rd ND (northside of Eau Claire Lake). We know that he has obtained all of his proper permits and has followed all channels needed to do this building project.

The Town of Bridge Creek Board is totally in support of this as it will be a benefit to our township. Any chance we have to have residential homes built bringing more residents to our community is a great asset.

Respectfully on Behalf of the Town of Bridge Creek Supervisors,



Kathy Olson, Clerk

Copies sent to Town of Bridge Creek Supervisors and Dennis Kinderman

Eau Claire COUNTY

NO. 650876

STATE SANITARY PERMIT

TRANSFER/RENEWAL PREVIOUS NO. _____

OWNER Dennis + Victoria Kunderman

PLUMBER Dennis Kunderman LIC.# 230238

TOWN OF Bridge Creek

SEC 4, T 26 N, R 6 E/W

AND/OR LOT _____ BLOCK _____

_____ SUBDIVISION

[Signature] AUTHORIZED ISSUING OFFICER – DATE 6-28-2023

THIS PERMIT EXPIRES 6-28-2025 UNLESS RENEWED BEFORE THAT DATE

CHAPTER 145.135 (2) WISCONSIN STATUTES

- (a) The purpose of the sanitary permit is to allow installation of the private sewage system described in the permit.
- (b) The approval of the sanitary permit is based on regulations in force on the date of approval.
- (c) The sanitary permit is valid and may be renewed for a specified period.
- (d) Changed regulations will not impair the validity of a sanitary permit.
- (e) Renewal of the sanitary permit will be based on regulations in force at the time renewal is sought, and that changed regulations may impede renewal.
- (f) The sanitary permit is transferable.

History: 1977 c. 168; 1979 c. 34,221; 1981 c. 314

Note: If you wish to renew the permit, or transfer ownership of the permit, please contact the county authority.

POST IN PLAIN VIEW

VISIBLE FROM THE ROAD FRONTING THE LOT DURING CONSTRUCTION



Highway Department
2000 Spooner Ave.
Altoona, WI 54720
(715) 839-2952

Office Use Only

Date Application Accepted:	04/21/23
Accepted By:	NMS
Payment Date:	04/21/23
Committee Meeting Date:	05/11/23

HIGHWAY SETBACK SPECIAL EXEMPTION APPLICATION

Property Owner Name: <u>Dennis L. Kinderman</u>	Phone #: <u>715-838-4664</u>
Mailing Address: <u>5033 Gust Road Fall Creek, WI 54742</u>	
Email Address: <u>VKinderman@prodigy.net</u>	

Agent Name:	Phone #:
Mailing Address:	
Email Address:	

SITE INFORMATION

Site Address:	
Property Description: <u>NW 1/4 SW 1/4 Sec. 4, T26 N, R 6 W, Town of Bridge Creek</u>	
Zoning District:	Code Section(s):
Parcel #: <u>1800222606043202000</u>	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

A detailed written statement that specifically identifies what is being requested.

Written argument that justifies the need for the variance and addresses the variance standards. It is the applicant's responsibility to prove that an "unnecessary hardship" exists and that a variance can be granted. (See reverse for additional information.)

Provide a \$40.00 application fee (non-refundable). Send application to ecchwy@eauclairecounty.gov or to the address above.

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Highway Department to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Dennis L. Kinderman Date 4-19-23

At the Committee Meeting, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

APPROVED
By Jon Johnson at 11:30 am, May 15, 2023

PERMIT FOR LAND ACCESS DRIVEWAY FROM COUNTY TRUNK HIGHWAY

EAU CLAIRE COUNTY HIGHWAY DEPARTMENT - 2000 Spooner Avenue, Altoona, WI 54720
 O (715) 839-2952, F (715) 578-4893

PROCESSING FEES (Non-refundable):

Private residential/agricultural access: \$100.00
 Industrial/commercial access: \$150.00
 Public street/road/subdivision: \$350.00

PAYMENT DATE: 05/16/23
 CASH/CHECK: CHK #16610 \$100.00

Installation and Maintenance of Driveway Responsibility of Landowner

NAME, ADDRESS, PHONE, EMAIL ADDRESS OF LANDOWNER		HIGHWAY	COUNTY
Dennis L. Kinderman 6033 West Road Fall Creek, WI 54742		County Rd ND	EAU CLAIRE
vKinderman@prodigy.net		TOWN - VILLAGE - CITY	
		Bridge Creek	
SPEED LIMIT	TYPE OF DRIVEWAY ACTIVITY	NUMBER OF DRIVEWAYS	COMPLETION DATE
Posted: 35	<input type="checkbox"/> Construct New	1	Summer 2023
Advisory:	<input checked="" type="checkbox"/> Improve Exist		

PROPOSED LAND USE

- Rural - Commercial/Industrial (35' top width)
 Rural - Residential (20' top width)
 Rural - Agricultural/Recreational (24' top width)

LOCATION OF DRIVEWAYS

East side of the highway _____ miles or 100 feet South of ND CT
 Quadrant SW Section 4 Township 26 N Range 6 W

REQUIRED DRAINAGE STRUCTURE

None

STOPPING SIGHT DISTANCE

Meets Requirements

DESCRIPTION OF PROPOSED WORK (INCLUDE SPECIAL RESTRICTIONS, INTERSECTIONS CLEARANCE, OTHER DETAILS, AND REFERENCE TO ANY SKETCHES WHICH MAY BE ATTACHED)

****PLEASE PLACE VISIBLE STAKES AT THE DESIRED LOCATION FOR OUR INSPECTION****

Any driveways shall be constructed in accordance with all requirements printed on the reverse side, and any special conditions stated herein. The maintenance of the driveways shall be the responsibility of the applicant.

Issuance of this permit shall not be construed as a waiver of the applicant's obligation to comply with any more restrictive requirements imposed by local ordinances.

Dennis L. Kinderman

SIGNATURE OF LANDOWNER

5-15-23

DATE

The section below is to be completed by the Highway Department

APPROVED BY EAU CLAIRE COUNTY HIGHWAY DEPARTMENT			
HIGHWAY DEPARTMENT PRINTED NAME	HIGHWAY DEPARTMENT SIGNATURE	DATE	PERMIT NUMBER
Ben Klitzke	Ben Klitzke	5/16/2023	2023-18
HIGHWAY DEPARTMENT COMMENTS			
Improve existing driveway to be shared access point and then split into separate driveways beyond right of way.			



DISCLAIMER: This map is not intended to be accurate, current, or complete and the user assumes the responsibility of the user.



002108408000

002108408000

ND CT

04

Bridge Creek

Approved Access

ND

002130601000

002130508000

0 20 40 60

DISCLAIMER: This map is not intended to be accurate. For all current or complete and conclusion, draw the responsibility of the user.



Industry Services Division
4822 Madison Yards Way
Madison, WI 53705
P.O. Box 7162
Madison, WI 53707-7162

County Eau Claire
Sanitary Permit Number (to be filled in by Co.)

Sanitary Permit Application

In accordance with SPS 383.21(2), Wis. Adm. Code, submission of this form to the appropriate governmental unit is required prior to obtaining a sanitary permit. Note: Application forms for state-owned POWTS are submitted to the Department of Safety and Professional Services. Personal information you provide may be used for secondary purposes in accordance with the Privacy Law, s. 15.04(1)(m), Stats.

State Transaction Number
Project Address (if different than mailing address)
Co. Rd. "ND"

I. Application Information - Please Print All Information

Property Owner's Name
DENNIS + VIKTORIA KINDERMAN

Parcel #
002130508006

Property Owner's Mailing Address
5033 Bust Rd.

Property Location
Govt. Lot 0.L-46
SW NE
NW 1/4 SW 1/4, Section 4

City, State FALL CREEK, WI Zip Code 54742 Phone Number 715 828-4664

II. Type of Building (check all that apply)
 1 or 2 Family Dwelling - Number of Bedrooms 3
 Public/Commercial - Describe Use _____
 State Owned - Describe Use _____

Lot # 0.L-4 Block # 4 CSM Number _____
T 26 N R 6 E of W
Subdivision Name Ass. Plat - Lk. E. LAIRE No.
 City of _____
 Village of _____
 Town of BRIDLE CREEK

III. Type of POWTS Permit: (Check either "New" or "Replacement" and other applicable on line A. Check one box on line B. Complete line C if applicable.)

A. New System Replacement System Other Modification to Existing System (explain) _____
 Additional Pretreatment Unit (explain) USF ELBIN 442 UNITS

B. Holding Tank In-Ground (conventional) At-Grade Mound Individual Site Design Other Type (explain) _____

C. Renewal Before Expiration Revision Change of Plumber Transfer to New Owner
List Previous Permit Number and Date Issued _____

IV. Dispersal/Treatment Area and Tank Information:

Design Flow (gpd) <u>450</u>	Design Soil Application Rate (gpd/sf) <u>1.6</u>	Dispersal Area Required (sf) <u>282</u>	Dispersal Area Proposed (sf) <u>360</u>	System Elevation <u>101.4, 100.0, 98.6</u>					
Capacity in Gallons		Total Gallons	# of Units	Manufacturer	Prefab Concrete	Site Constructed	Steel	Fiber Glass	Plastic
New Tanks		Existing Tanks							
Septic or Holding Tank	<u>1000</u>	<u>-</u>	<u>1000</u>	<u>1</u>	<u>HUFFLUTT CONCA.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dosing Chamber						<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

V. Responsibility Statement- I, the undersigned, assume responsibility for installation of the POWTS shown on the attached plans.

Plumber's Name (Print) DENNIS KINDERMAN Plumber's Signature _____
MPP/MPRS Number 230238 Business Phone Number 715 828-4664
Plumber's Address (Street, City, State, Zip Code)
5033 Bust Rd., FALL CREEK, WI 54742

VI. County/Department Use Only

Approved Disapproved Owner Given Reason for Denial _____
Permit Fee \$ _____ Date Issued _____ Issuing Agent Signature _____

Conditions of Approval/Reasons for Disapproval

Attach to complete plans for the system and submit to the County only on paper not less than 8 1/2 x 11 inches in size

Private Onsite Wastewater Treatment System Index and Title Page

Project Name: DENNIS KINDERMAN - 3- BR. INGROUND-LSF (NEW)

Owner's Name: " + VICTORIA KINDERMAN

Owner's Address: 5033 GUST RD.
FALL CREEK, WI 54742
715 828-4664

Legal Description: SW, NE
NW, SW, 4, 26N, 6W

Municipality: Town, Village, City of BAIRDE CREEK

County: EAU CLAIRE

Lot Number: O.L. - 46 Block Number: 4 CSM Number: _____

Subdivision Name: ASS. PLAT - LK. EAU CLAIRE No. - CO. RD. NO

Parcel I.D. Number: 002130508000

Page 1	Index and Title Page
Page 2	Plot Plan
Page 3	Septic Tank Specifications
Page 4	<u>CROSS-SECTION + PLAN VIEW</u>
Page 5	Filter Information
Page 6	POWTS Owner's Manual & Management Plan
Page 7	POWTS Owner's Manual & Management Plan

Name of Designer: DENNIS KINDERMAN License #: MARS -

Signature: _____ Date: 4-19-2023

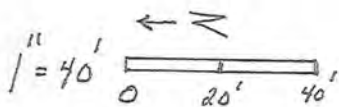
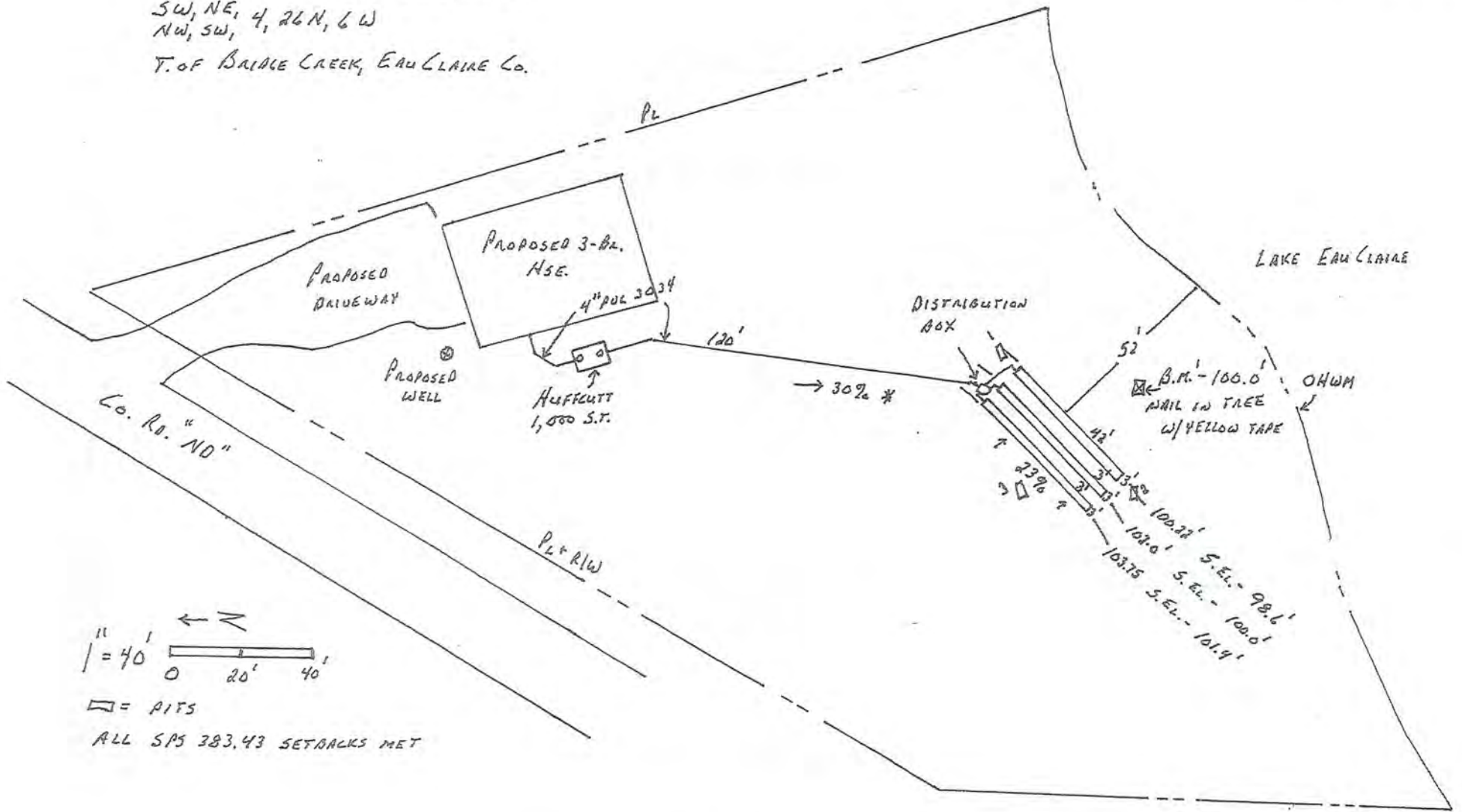
Designed pursuant to the following POWTS Component Manual and DSPS 381-385:
LSF "In-ground Soil Absorption Component Manual" UER. 11/2019 (Nov. 2019-2024)

Attachment: Soil Evaluation Report

PLOT PLAN

Pl. 2 of 7

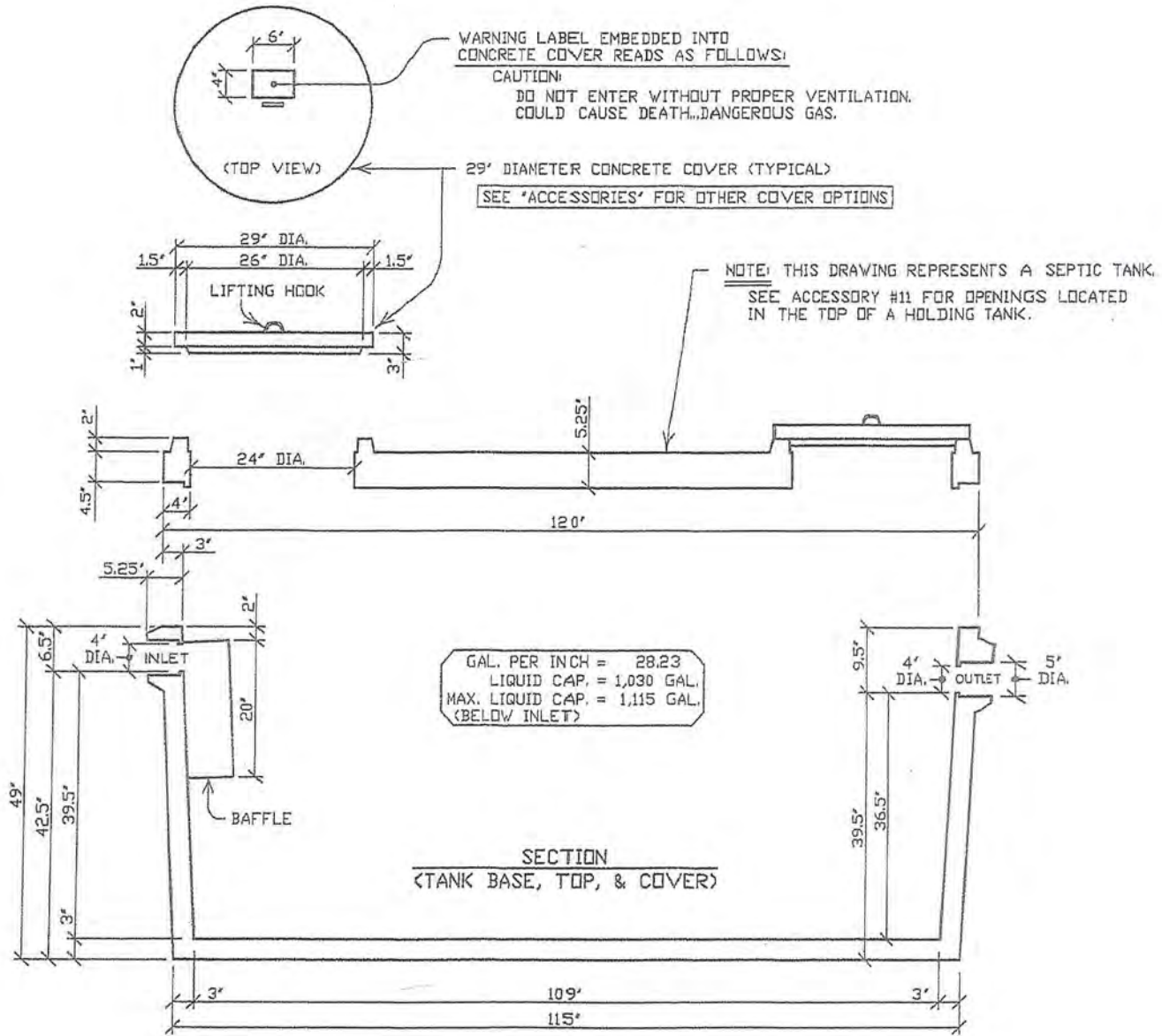
DENNIS KINDERMAN - Co. RD. "ND"
 SW, NE, 4, 26N, 6W
 NW, SW,
 T. OF BRIDGE CREEK, EAU CLAIRE Co.



□ = PITS
 ALL SPS 383.43 SETBACKS MET

*NOTE: SEWER PIPE TO BE DUG ACROSS SLOPE OF 30% (CONSERVATION ZONE)
 EXCAVATION TO BE 2' WIDE + 30" DEEP + BACKFILLED TO ORIGINAL GRADE.
 TRENCH TO BE SEEDED + MULCHED IMMEDIATELY AFTER BACKFILLING

Pg. 3 of 7



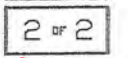
N.P.C.A. CERTIFIED PLANT
 &
 MEMBER OF:
 NATIONAL & WISCONSIN PRECAST CONCRETE ASSOCIATIONS

THIS DRAWING SHALL NOT BE COPIED OR REBATTED TO OTHERS WITHOUT THE CONSENT OF THIS COMPANY.

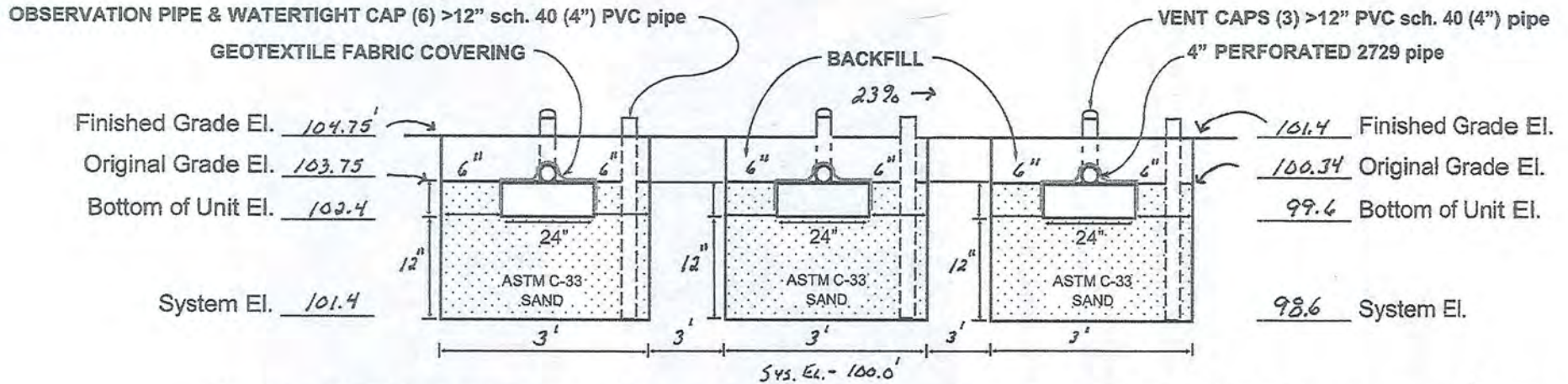
4154 123rd STREET
 CHIPPEWA FALLS, WI 54729
 (715) 723-7446 * (800) 924-1516
 FAX (715) 723-7111 * www.huffcutt.com



PROJECT:
 1,000 GAL. LOW PROFILE
 PUMP, SEPTIC,
 OR HOLDING TANK

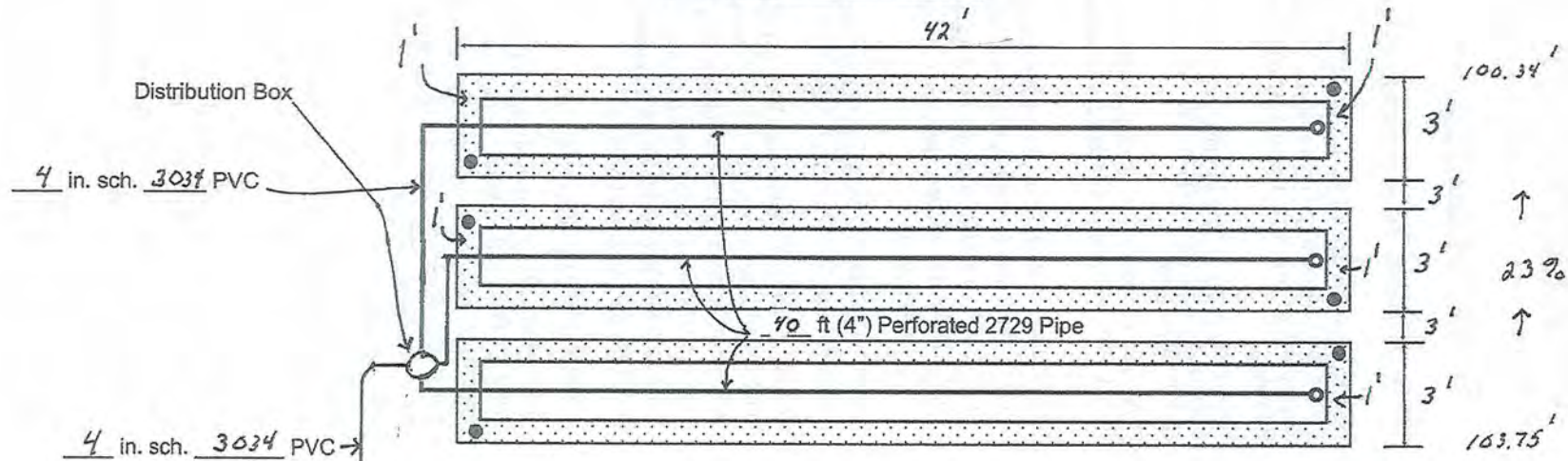


CROSS-SECTION (No Scale)



Use Eljen GSF A42 units (2'x4') with 10 units / trench x 3 trenches = 30 units x 12.0 ft² = 360 ft² (Total) 10 UNITS / TRENCH
 Minimum Area Required = 450 gpd ÷ 1.6 = 282 ft² (Minimum # Units = 6 per Bedroom x 3 BR = 18 Units)
 Maximum Installation Depth = 20" ft

PLAN VIEW (No Scale)



- = (6) Observation pipes (6" from end and side wall), Lower 19" slotted (1/4" to 1/2" slots)
- = (3) Vent pipes (end of distribution pipe)

Maintenance Instructions



Biotube® Effluent Filter

How to Clean Your Effluent Filter

To ensure your effluent filter is functioning properly, it should be inspected every year. Under normal conditions, your effluent filter will function for several years before cleaning is necessary. The filter should be cleaned when it becomes clogged enough to restrict normal flows out of the septic tank. At a minimum, the filter should be cleaned whenever the tank is pumped.

Most people prefer to have a septic tank service provider take care of filter maintenance and cleaning. You can find a septic tank service provider in the Yellow Pages, under "Septic Tanks & Systems." Or you can contact your county health department for a list.

If you wish to inspect and/or clean your effluent filter yourself, be sure to dress properly. Wear full-length pants and shirt, shoes, gloves, and goggles or glasses. Then follow these instructions:

1. Remove the access lid to your septic tank by unscrewing the stainless steel lid bolts with hex head wrench provided. If your lid is above ground, it will be easy to find. If it is buried below ground, find the marker that indicates its location.
 2. Remove the filter cartridge by grasping the tee handle and lifting it out of its housing (see photo 1).
 3. Spray the cartridge tubes with a hose to remove any material sticking to them (see photo 2). Ensure the three orifices in the optional flow modulation plate inside the filter are clear of any debris. Make sure the rinse water runs back into the tank, but do not allow solids material to fall into the open filter housing.
 4. Firmly place the cartridge back into the housing.
 5. Some effluent filters come with an alarm that activates when the filter needs cleaning. If you have an alarm, check to make sure it is working by lifting the float with a stick. An audible horn should sound. The alarm panel is normally mounted on the side of the house or in the garage.
- Note: If your effluent filter doesn't have an alarm system and you would like one, call your local septic system installer.
6. Record the date that you inspected and/or cleaned your filter on the form that follows. If you checked the alarm or made any other observations about the tank or system, include that information under "Notes."
 7. Attach access lid by placing it on the riser, matching the openings in the lid with the bolt catches. Insert lid bolts into catches and tighten with hex head wrench provided.

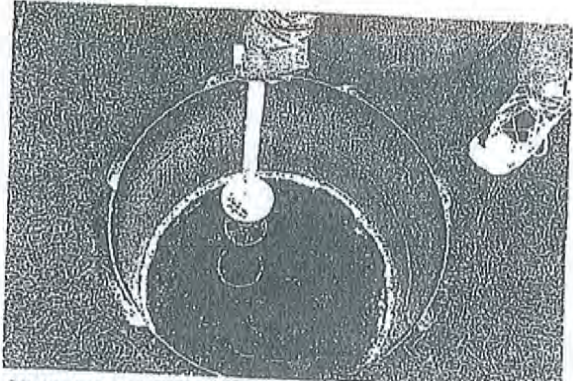


Photo 1. Remove the filter cartridge by lifting it out of its housing.

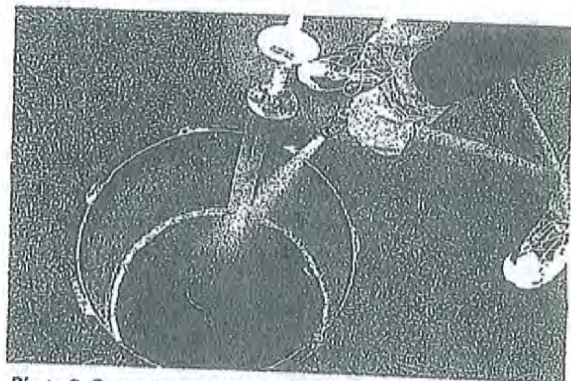


Photo 2. Spray the cartridge tubes with a hose.

POWTS OWNER'S MANUAL AND MANAGEMENT PLAN

FILE INFORMATION

Owner	DENNIS KINDERMAN
Permit #	

DESIGN PARAMETERS

Number of Bedrooms	3
Number of Commercial Units	-
Estimated flow (Ave) (100 gpd/bedroom)	300 gpd
Design flow (DWF) = estimated x 1.5	450 gpd
Soil Application Rate	1.6 gpd/ft ²
Influent/Effluent Quality (<input checked="" type="checkbox"/> NA)	Monthly Average
Fats, Oil & Grease (FOG)	≤ 30 mg/L
Biochemical Oxygen Demand (BOD ₅)	≤ 220 mg/L
Total Suspended Solids (TSS)	≤ 150 mg/L
Pretreated Effluent Quality (<input type="checkbox"/> NA)	Monthly Average
Biochemical Oxygen Demand (BOD ₅)	≤ 30 mg/L
Total Suspended Solids (TSS)	≤ 30 mg/L
Fecal Coliform (geometric mean)	≤ 10 cfu/100mL
Maximum Effluent Particle Size	1/8 inch diameter

Dispersal Unit Mfg./Model Number:

Calculations:

$$\text{DWF} \div \frac{\text{Soil Application Rate}}{\text{Dispersal Area Required}} = \text{End Cap EISA} \div \text{or (Trench Width)} = \text{\# Units or Total Length of Trench(s)}$$

$$450 \div \frac{1.6}{282} = 12.0 \text{ FT} = 30 \text{ UNITS (360 FT}^2\text{)}$$

DESIGN CRITERIA

- "At-Grade Component Manual for POWTS" (Pressure or Gravity, Version 3.0 (May 2022-2027))
- "Design of Pressure Distribution Networks for Septic Tank-Soil Absorption Systems." Publication 9.6 (SSWMP Manual)
- "EZ Flow Mound Component Manual" Version 12/15/2017 (April 2018-2023)
- "In-Ground Soil Absorption Component Manual for POWTS" Version 2.1 (May 2022-2027)
- "Mound Component Manual for POWTS" Version 2.1 (May 2022-2027)
- "Pressure Distribution Component Manual for POWTS." Version 2.1 (May 2022-2027)
- Other: GSF INGROUND COMPONENT MANUAL 5-2018

MAINTENANCE MONITORING SCHEDULE - MAINTENANCE AND MANAGEMENT

Service Event	Service Frequency
Pump/inspect dispersal cell(s), clean filter	At least once every: <input checked="" type="checkbox"/> 13 months <input checked="" type="checkbox"/> 3 years <input type="checkbox"/> Other:
Inspect pump & pump controls, alarm, pretreatment unit	At least once every: <input type="checkbox"/> months <input type="checkbox"/> 3 years <input checked="" type="checkbox"/> NA
Flush and pressure test laterals	At least once every: <input type="checkbox"/> months <input type="checkbox"/> 3 years <input checked="" type="checkbox"/> NA

START UP AND OPERATION: For new construction, prior to using the POWTS check treatment tank(s) for the presence of painting products or other chemicals that may impede the treatment process and/or damage the dispersal cell(s). If high concentrations are detected have the contents of the tank(s) removed by a septage servicing operator prior to use. System start up shall not occur when soil conditions are frozen at the infiltrative surface.

The property owner is responsible for the operation and maintenance of the POWTS and submission of required reports. The quantity and quality of the wastewater stream will affect the performance and longevity of your POWTS. The installation of water-saving appliances and fixtures along with prompt repair of leaks reduces the wastewater volume. Also the brine or waste from water softeners, iron removal units, other clear water treatment devices and foundation drains should be discharged to the ground surface whenever possible. Note: this does not include laundry waste, showers, dishwasher, etc.

This system is designed to handle domestic strength wastewater; however, the disposal of food based greases, oils, vegetable/fruit peels, seeds, bones, and food solids, such as those produced by a garbage disposal should be minimized. Toilet tissue is the only paper that should be discharged into the system. Other non-biodegradable items, such as baby wipes, tampons, sanitary napkins condoms, cigarette butts, dental floss, and cotton swabs, should not enter the system. Chemicals, such as petroleum products, paint, disinfectants, pesticides, antibiotics, solvents, etc., should not be flushed into the system because they can seriously damage your POWTS and contaminate your drinking water supply. Maintain a regular steady flow by spreading laundry washing throughout the week. Avoid vehicle traffic over all system components. Compaction of snow over the dispersal unit may cause it to freeze up.

SYSTEM SPECIFICATIONS

Septic Tank Capacity	1000 gal <input type="checkbox"/> NA
Septic Tank Manufacturer	HUFFCUTT <input type="checkbox"/> NA
Effluent Filter Manufacturer	ORENCO <input type="checkbox"/> NA
Effluent Filter Model	FT0222-146 <input type="checkbox"/> NA
Pump Tank Capacity	gal <input checked="" type="checkbox"/> NA
Pump Tank Manufacturer	<input type="checkbox"/> NA
Pump Manufacturer	<input type="checkbox"/> NA
Pump Model	<input type="checkbox"/> NA
Pretreatment Unit (<input type="checkbox"/> NA)	
<input type="checkbox"/> Sand/Gravel Filter	<input type="checkbox"/> Peat Filter
<input type="checkbox"/> Mechanical Aeration	<input type="checkbox"/> Wetland
<input type="checkbox"/> Disinfection	<input checked="" type="checkbox"/> Other:
Manufacturer: GSF	Model: ELBIN A42 UNIT
Soil Absorption Component (<input type="checkbox"/> NA)	
<input checked="" type="checkbox"/> In-ground (gravity)	<input type="checkbox"/> In-ground (pressurized)
<input type="checkbox"/> At-grade	<input type="checkbox"/> Mound
<input type="checkbox"/> Drip-line	<input type="checkbox"/> Other:
Vertical Distance Tank Bottom to Service Pad:	ft
Horizontal Distance Tank(s) to Service Pad:	ft
	GSF ELBIN A42 UNITS 2'x4' <input type="checkbox"/> NA

INSPECTIONS & MAINTENANCE: Inspection shall be made by an individual carrying one of the following licenses or certifications: Master Plumber, Master Plumber Restricted Sewer, POWTS Maintainer, or Septage Servicing Operator (per the attached Maintenance Schedule). Tank inspections must include a visual inspection of the tank to identify any missing or broken hardware, identify any cracks or leaks, measure the volume of combined sludge and scum and check for any backup or ponding of effluent to the ground surface and test all electrical equipment such as pumps and alarms. Any defects shall be promptly corrected. Exposed openings greater than 8 inches in diameter shall be secured with effective locking devices to prevent accidental or unauthorized entry the tanks.

When the combination of sludge and scum in any tank exceeds one-third (1/3) or more of the tank volume, the entire contents of the tank shall be removed by a Septage Servicing Operator and disposed of in accordance with Ch. NR 113, Wisconsin Admin. Code. Specific servicing mechanics must be provided if vertical is >15 feet or if horizontal is >150 feet and instructions to be provided below.

The outlet filter(s) shall be inspected and cleaned to remove any accumulated solids according to manufacturer's specifications. Solids washed from the filter shall be retained in the tank. Filter cleaning may be necessary at more frequent intervals than stated in the maintenance schedule to keep the system operating.

Alarms should be tested on a regular basis by the home owner. If an alarm sounds, contact an individual licensed to service POWTS, There is normally a 1 day reserve under regular operating conditions, however water should be conserved until any problems with the system are corrected to prevent back-up of sewage into the dwelling or surfacing.

ABANDONMENT: When the POWTS fails and/or is permanently taken out of service the following steps shall be taken to ensure that the system is properly and safely abandoned in compliance with Ch. SPS 383.33, Wisconsin Admin. Code:

- All piping to tanks and pits shall be disconnected and the abandoned pipe openings sealed.
- The contents of all tanks and pits shall be removed and properly disposed of by a Septage Servicing Operator.
- After pumping, all tanks and pits shall be excavated and removed or their covers removed and the void space filled with soil, gravel, or other inert solid material.

CONTINGENCY PLAN: If the POWTS fails and cannot be repaired the following measures have been, or must be taken, to provide a code compliant replacement system:

- A suitable replacement area has been evaluated and may be utilized for the location of a replacement soil absorption system. The replacement area should be protected from disturbance and compaction and should not be infringed upon by required setbacks from existing and proposed structure, lot lines and wells. Failure to protect the replacement area renders it unusable. Replacement systems must comply with the rules in effect at the time of replacement.
- A suitable replacement area is not available due to setback and/or soil limitations. Barring advances in POWTS technology a holding tank may be installed as a last resort to replace the failed POWTS.
- The site has not been evaluated to identify a suitable replacement area. Upon failure of the POWTS a soil and site evaluation must be performed to locate a suitable replacement area. If no replacement area is available a holding tank may be installed as a last resort to replace the failed POWTS.
- Mound and at-grade soil absorption systems may be reconstructed in place following removal of the biomat at the infiltrative surface. Reconstructions of such systems must comply with the rules in effect at that time.

WARNING!!!! SEPTIC, PUMP, AND OTHER TREATMENT TANKS MAY CONTAIN LETHAL GASSES AND/OR INSUFFICIENT OXYGEN. DO NOT ENTER A SEPTIC, PUMP, OR OTHER TREATMENT TANK UNDER ANY CIRCUMSTANCES. DEATH MAY RESULT. RESCUE OF A PERSON FROM THE INTERIOR OF A TANK MAY BE DIFFICULT OR IMPOSSIBLE.

ADDITIONAL COMMENTS: _____

POWTS INSTALLER

Name: DENNIS KINDEARMAN MP# 230238
 Phone: 715 828-4664

POWTS MAINTAINER

Name: KINDEARMAN PLUMBING
 Phone: 715 828-4664

SEPTAGE SERVICING OPERATOR (Pumper)

Name: _____
 Phone: _____

LOCAL REGULATORY AUTHORITY

Name: EAU CLAIRE CITY-Co. HEALTH DEPT.
 Phone: 715 839-4718





Innovations in Precast,
Drainage and Wastewater products

- Products
- Precast
- Drainage
- Wastewater
- Testing & Approvals
- About Us
- Contact Us
- Resources
- Video Gallery

Home > 20" Distribution and Valve Box (8 Hole, 7 Hole, 6 Hole)

20" DISTRIBUTION AND VALVE BOX (8 HOLE, 7 HOLE, 6 HOLE)

[Request a Catalog](#)

[Request a Quote](#)

[Buy Now](#)



We have the solution to all of your onsite needs with our 20" Distribution Box! This box is great for large or small applications. No other box allows you to choose where to set your inlets or outlets. There's no need to worry about different colored fittings or plugs to inventory because as well as accepting 2", 3" & 4" pipe, our equal flow distribution boxes can also accept 6" pipe. Our 20" Distribution Box will also accept our 20" Risers so you can easily bring the box to grade. It is the most versatile Distribution Box available on the market today!

[Details](#) [Downloads](#) [CAD](#)

Part Number

- 3017-206 (20" D-Box, 6 Hole with Flat Cover)
- 3017-207 (20" D-Box, 7 Hole with Flat Cover)
- 3017-20 (20" D-Box, 8 Hole with Flat Cover)





SOIL EVALUATION REPORT

In accordance with SPS 385, Wis. Adm. Code

Attach complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and percent slope, scale or dimensions, north arrow, and location and distance to nearest road.

Please print all information.

Personal information you provide may be used for secondary purposes (Privacy Law, s. 15.04(1)(m)).

County	Eau Claire
Parcel I.D.	18002-2-260604-320-2000
Reviewed by	Date

Property Owner Dennis & Victoria Kinderman			Property Location Govt. Lot NW 1/4 SW 1/4 S 4 T 26 N R 6 E (or) W		
Property Owner's Mailing Address 5033 bust Rd			Site Address or CSM and Lot #:		
City Fall Creek	State WI	Zip Code 54742	Phone Number (715) 8284664	<input type="checkbox"/> City <input type="checkbox"/> Village <input checked="" type="checkbox"/> Town	Nearest Road County Rd ND

New Construction Use: Residential/Number of bedrooms 3 Code derived designflow rate 450 GPD
 Replacement Public or commercial - Describe: _____ Flood Plan elevation if applicable _____ ft.
 Parent material outwash
 General comments and recommendations: 3x50' ez. flow trenches on 22-24% slope

1 Boring # Boring Pit Ground surface elev. 100.34 ft. Depth to limiting factor 44 in. / elev. _____ ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Az. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	Roots	Soil Application Rate	
									GPD/FT ²	
									*Eff#1	*Eff#2
1	0-6	10YR 7/2	-	SL	2MBK	MFR	AS	2M	.6	1.0
2	6-10	↓ 4/4	-	LS	-	MVFR	BS	1F	.7	1.6
3	10-44	↓ 4/6	-	LS	-	MVFR	BS	1VF	.7	1.6
4	44+	↓ 4/6	C2D 5YR 4/4	-	-	-	-	-	-	-

2 Boring # Boring Pit Ground surface elev. 100.37 ft. Depth to limiting factor 40 in. / elev. _____ ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Az. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	Roots	Soil Application Rate	
									GPD/FT ²	
									*Eff#1	*Eff#2
1	0-7	10YR 3/2	-	SL	KBK	MFR	AS	2M	.6	1.0
2	7-22	↓ 4/4	-	LS	-	MFR	LS	1F	.7	1.6
3	22-40	↓ 4/6	-	LS	-	MVFR	CS	-	.7	1.6
4	40+	↓ 4/6	Weakly cemented Sandstone Bedrock	-	-	-	-	-	-	-

CST Name (Please Print) Tyler Langner	Signature 	CST Number 052200013
Address	Date Evaluation Conducted 3/26/23	Telephone Number

* Effluent #1 = BOD > 30 ≤ 220 mg/L, and TSS > 30 ≤ 150 mg/L * Effluent #2 = BOD, ≤ 30 mg/L and TSS ≤ 30 mg/L
SBD-8330 (R04/21)

Boring # **3**

Boring
 Pit

Ground surface elev. 61.17 ft.

Depth to limiting factor 62 in.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Az. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	Roots	Soil Application Rate	
									GPD/F ²	
									*Eff#1	*Eff#2
1	0-6	10YR 7/2	-	SL	1F BK	MVFR	AS	2M	.6	1.0
2	6-12	10YR 4/4	-	SL	2m BK	MVFR	BS	1F	.6	1.0
3	12-62	7.5 YR 4/3	-	LS	"	MYFR	BS	1YF	.7	1.6

Boring #

Boring
 Pit

Ground surface elev. ____ ft.

Depth to limiting factor ____ in.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Az. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	Roots	Soil Application Rate	
									GPD/F ²	
									*Eff#1	*Eff#2

Boring #

Boring
 Pit

Ground surface elev. ____ ft.

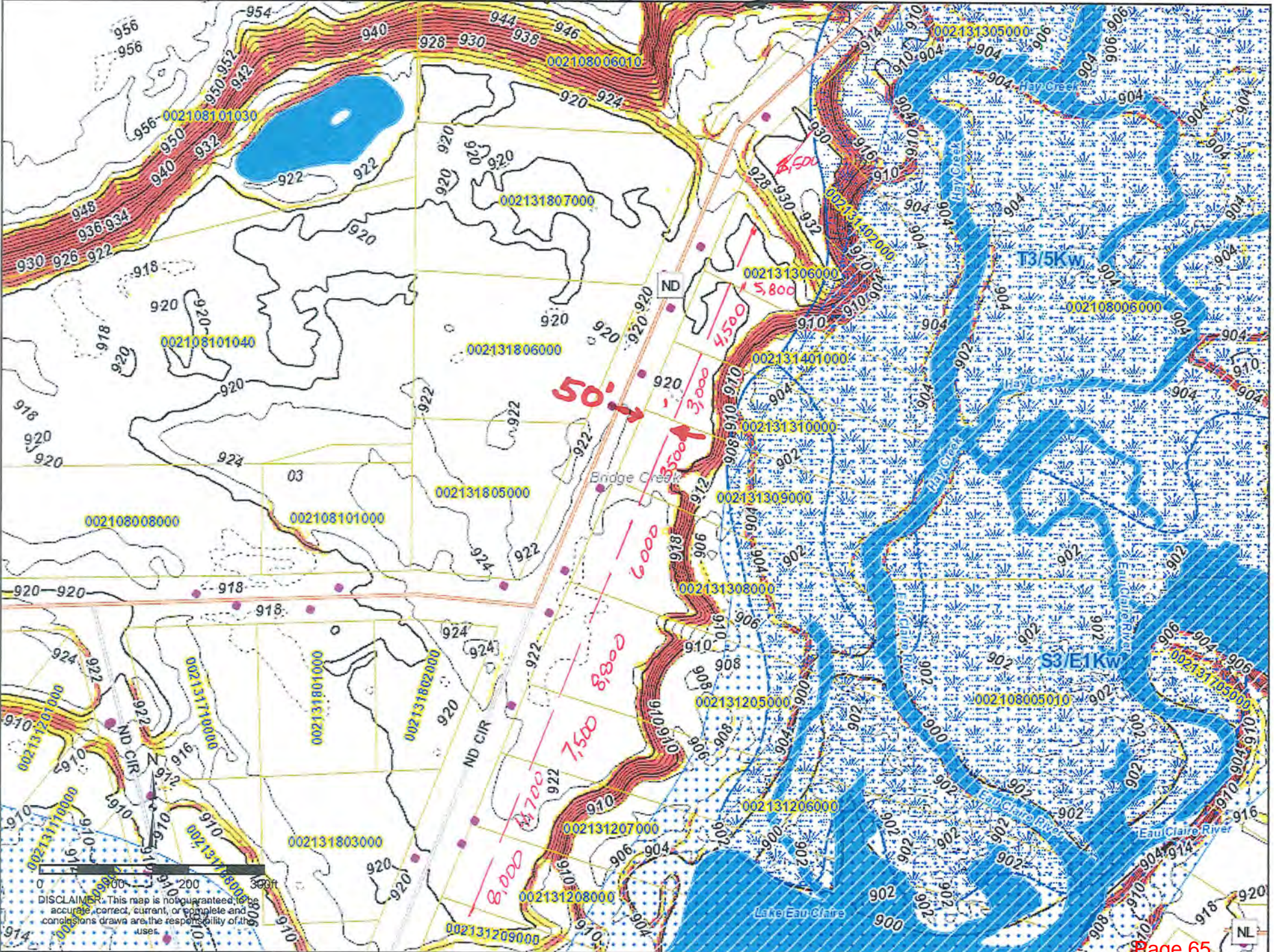
Depth to limiting factor ____ in.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Az. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	Roots	Soil Application Rate	
									GPD/F ²	
									*Eff#1	*Eff#2

* Effluent #1 = BOD, > 30 ≤ 220 mg/L and TSS > 30 ≤ 150 mg/L

* Effluent #2 = BOD, > 30 ≤ 220 mg/L and TSS > 30 ≤ 150 mg/L

EXHIBIT 1



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

EXHIBIT 2

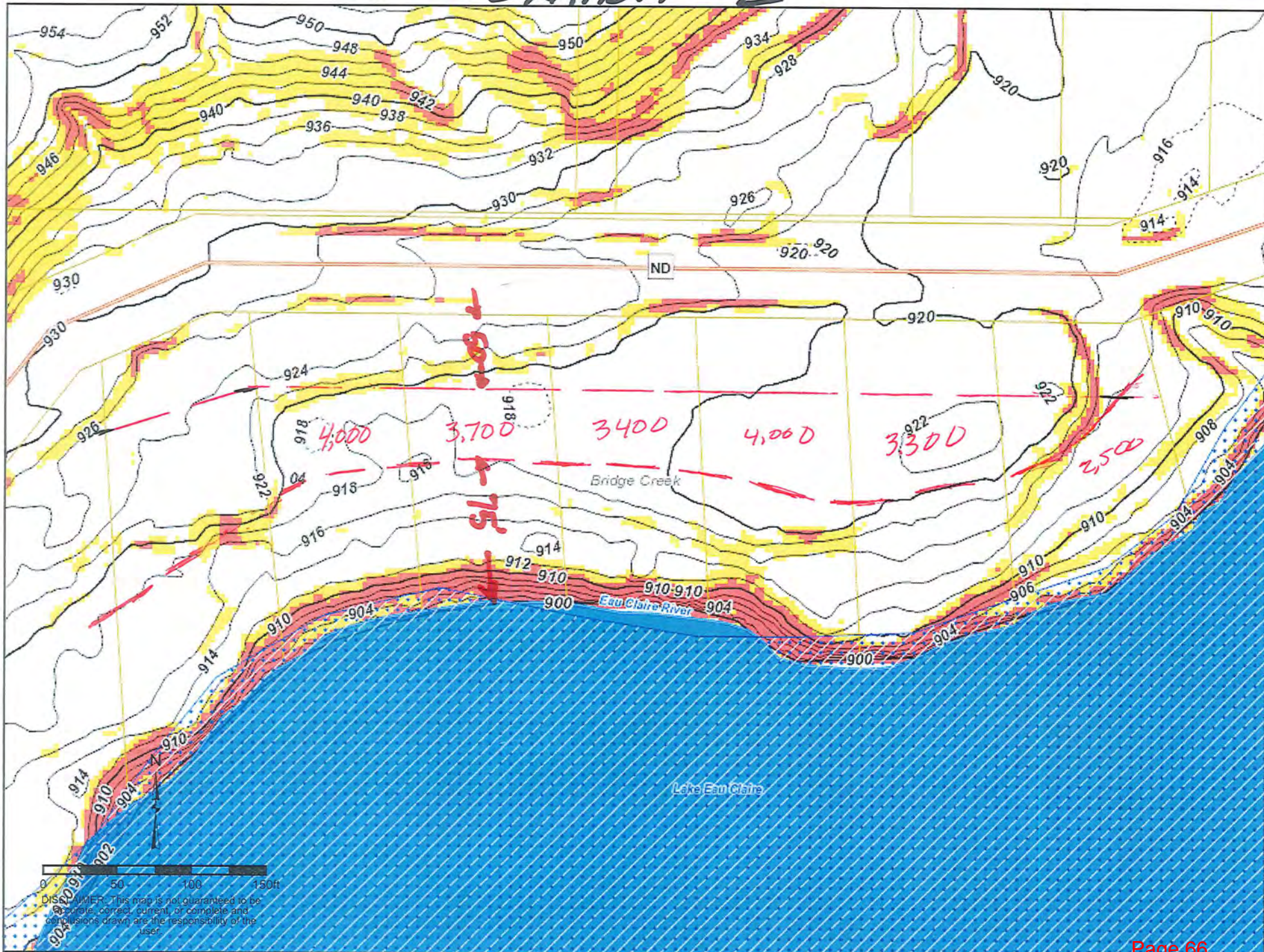


Exhibit 3



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and no liability is assumed for any errors or omissions. The user is responsible for verifying the accuracy of the information shown on this map.

Exhibit 4

Return to search results

Property Summary

Owner (s): KINDERMAN, DENNIS KINDERMAN, VICTORIA		Location: NW-SW, Sect. 4, T26N, R6W	
Mailing Address: DENNIS KINDERMAN VICTORIA KINDERMAN 5033 GUST RD FALL CREEK, WI 54742-2203 Request Mailing Address Change		School District: 0217 - AUGUSTA SCHOOL DISTRICT	
Tax Parcel ID Number: 18002-2-260604-320-2000	Tax District: 002-TOWN OF BRIDGE CREEK	Status: Active	
Alternate Tax Parcel Number: 002130508000	Government Owned:	Acres: 0.0000	
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.): OL 46 BLK 4 FIRST ASR PLT OF LAKE EAU CLAIRE NORTH T OF BRIDGE CREEK			
Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)			

Printer Friendly Page

View Interactive Map

Taxes

0 Lottery credits claimed

Print tax bills:

2022 2021 2020 2019 2018 2017 2016 2015

Tax History

* Click on a Tax Year for detailed payment information.

Tax Year*	Omitted	Tax Bill	Taxes Paid	Taxes Due	Interest	Penalty	Total Payoff
2022		\$2,170.97	\$2,170.97	\$0.00	\$0.00	\$0.00	\$0.00
2021		\$1,933.08	\$1,933.08	\$0.00	\$0.00	\$0.00	\$0.00
2020		\$2,389.74	\$2,389.74	\$0.00	\$0.00	\$0.00	\$0.00
2019		\$2,373.64	\$2,373.64	\$0.00	\$0.00	\$0.00	\$0.00
2018		\$2,383.51	\$2,383.51	\$0.00	\$0.00	\$0.00	\$0.00
2017		\$2,448.41	\$2,448.41	\$0.00	\$0.00	\$0.00	\$0.00
2016		\$2,505.37	\$2,505.37	\$0.00	\$0.00	\$0.00	\$0.00
2015		\$2,694.05	\$2,694.05	\$0.00	\$0.00	\$0.00	\$0.00
2014		\$2,434.28	\$2,434.28	\$0.00	\$0.00	\$0.00	\$0.00
2013		\$2,268.01	\$2,268.01	\$0.00	\$0.00	\$0.00	\$0.00
2012		\$2,319.79	\$2,319.79	\$0.00	\$0.00	\$0.00	\$0.00
2011		\$2,195.71	\$2,195.71	\$0.00	\$0.00	\$0.00	\$0.00
2010		\$2,141.61	\$2,141.61	\$0.00	\$0.00	\$0.00	\$0.00
2009		\$466.47	\$466.47	\$0.00	\$0.00	\$0.00	\$0.00
2008		\$446.85	\$446.85	\$0.00	\$0.00	\$0.00	\$0.00
2007		\$318.57	\$318.57	\$0.00	\$0.00	\$0.00	\$0.00
Total							\$0.00

2015 TAXES PAID FOR LAND \$2609 @ E27735 LTH &
You Paid 2694.05

Exhibit 5

715-266-2543
DAWN WERLEIN
E27735 CO RD G
AUGUSTA, WI 54722

\$2609.05
Tax Paid For Lot

Real Estate Tax Bill For 2016
TOWN OF BRIDGE CREEK
EAU CLAIRE COUNTY TREASURER
STATE OF WISCONSIN

2016512743
BRAD A ROGERS
002-1306-03-000

Correspondence should refer to tax number.
See reverse side for important information.

Ass'd Value Land	Ass'd Value Improve	Total Ass'd Value	Avg. Assm'l Ratio	Est. Fair Mkt. Land	Est. Fair Mkt. Improve	Total Est. Fair Mkt.
131,300	219,800	351,100	0.9388	139,900	234,100	374,000
TAXING JURISDICTION						
STATE	0	0	0	65.50	60.72	7,186.55
COUNTY	119,493	111,350	0	1,721.26	1,618.91	-87.07
TOWN OF BRIDGE CREEK	224,823	227,827	0	695.05	697.11	-163.74
SCHL-AUGUSTA	2,183,695	2,105,263	0	4,244.28	3,840.13	6,935.74
CVTC	180,019	152,490	0	342.10	314.09	12.00
LAKE E C REHAB DIST	0	0	0	659.60	655.59	10.00
TOTALS	2,708,030	2,596,930		7,727.79	7,186.55	-7.0
Net 2016 county tax reduced by county sales tax credit	458.78			-84.37	-87.07	
Net 2016 school tax reduced by school levy tax credit	804.49			0.00	-163.74	
TOTALS				7,643.42	6,935.74	-9.3

Est. State Aids Allocated to Tax District: 2015 NET TAX 65.50, 2016 NET TAX 60.72, % TAX CHG -7.3

NET ASSESSED VALUE RATE: 0.020468649

For Informational purposes only - Voter Approved Temporary Tax Increases (approved after Dec 31, 2014)

No Referendum Reported

TOTAL DUE FOR FULL PAYMENT
PAY BY January 31, 2017 TO MUNICIPAL TREAS
\$ 6,957.74

WARNING: If not paid by due date, installment option is lost and total tax is delinquent and subject to interest and if applicable, penalty. SEE REVERSE SIDE.

IMPORTANT: This description is for tax bill use only and may not be a full legal description

SO4/T26/R06
PCL# 26.6.4.221:4:3
PIN# 18002-2-260604-230-2001
ZONING:

1091806 930/848 596/319
E 20055 ND CT
002-1306-03-000

SARAH S ROGERS
DARLENE SLOWIAK
BRAD A ROGERS
E 20055 ND CT
AUGUSTA, WI 54722

Or PAY 1st INSTALLMENT by January 31, 2017 TO MUNICIPAL TREAS \$ 3,408.00	Or PAY 2nd INSTALLMENT by July 31, 2017 TO COUNTY TREASURER \$ 3,549.74
---	---

TEAR HERE

2016512743

EAU CLAIRE COUNTY TREASURER
Courthouse hours: Mon-Fri 8-5. Please mark 7/31/17 on your calendar for 2nd installment. No reminders will be sent.

Tax# 002-1306-03-000
Bill# 2016512743
SARAH S ROGERS
DARLENE SLOWIAK
BRAD A ROGERS
E 20055 ND CT
AUGUSTA, WI 54722

TEAR HERE

SECOND INSTALLMENT \$ 3,549.74
--

PAY BY July 31, 2017

MAKE CHECK PAYABLE AND MAIL TO:
EAU CLAIRE COUNTY TREASURER
GLENDA J LYONS
721 OXFORD AVE SUITE 1250
EAU CLAIRE, WI 54703-5478

WARNING: If not paid by due date, installment option is lost and total tax is delinquent and subject to interest and if applicable, penalty. SEE REVERSE SIDE.

If payment is made by check, receipt is not valid until check has cleared all banks.

PROPERTY ADDRESS:
E 20055 ND CT

Tear off this stub and include in your second payment. If receipt is needed, send stamped self-addressed envelope.

TEAR HERE

2016512743

TOWN OF BRIDGE CREEK
Collection @ Town Hall Sat 9am-1pm Dec 24 & 31
Jan 7 14 21 & 28 Or call for another time. Dog License: Male/Female \$17 Spayed/Neutered \$7
Proof of rabies shots required. Any questions call Dawn: 715-266-2543

Tax# 002-1306-03-000
Bill# 2016512743
SARAH S ROGERS
DARLENE SLOWIAK
BRAD A ROGERS
E 20055 ND CT
AUGUSTA, WI 54722

TEAR HERE

FIRST INSTALLMENT \$ 3,408.00	FULL PAYMENT \$ 6,957.74
---	------------------------------------

PAY BY January 31, 2017

MAKE CHECK PAYABLE AND MAIL TO:
TOWN OF BRIDGE CREEK
DAWN WERLEIN
E27735 CO RD G
AUGUSTA, WI 54722

WARNING: If not paid by due date, installment option is lost and total tax is delinquent and subject to interest and if applicable, penalty. SEE REVERSE SIDE.

If payment is made by check, receipt is not valid until check has cleared all banks.

PROPERTY ADDRESS:
E 20055 ND CT

Tear off this stub and include in your first or full payment. If receipt is needed, send stamped self-addressed envelope.

TEAR HERE

2016512743

TOWN OF BRIDGE CREEK
DAWN WERLEIN
E27735 CO RD G
AUGUSTA, WI 54722

Address Service Required

002-1306-03-000

SARAH S ROGERS
DARLENE SLOWIAK
BRAD A ROGERS
E 20055 ND CT
AUGUSTA, WI 54722

PROPERTY TAX STATEMENT



Final Plat Report



To: Committee on Planning and Development
Regarding: Final Plat of “JUNIPER RIDGE”
Surveyor: Peter Gartmann; Real Land Surveying
Owner/Agent: C&M Properties, Cody Filipczak
Date: July 5, 2023
Cc: Peter Gartmann; Real Land Surveying
Highclere Properties LLC, Cody Filipczak
Dan Hanson, Chair, Town of Pleasant Valley

Committee Members:

The statutory time limit for the County to take action on this matter expires 60 days after the last submittal. The County must “Approve, Conditionally Approve or Deny” this submitted Final Plat by this time or it automatically is deemed approved by statute. Committee may also, by majority vote, require the subdivider to submit other reasonable and pertinent information necessary to review the plat, as per 18.79.020 B.

Staff has reviewed and recommends conditional approval of the *6/16/2023* “Final Plat of **“JUNIPER RIDGE”**”. (Most recent submittal of 06/23/2023.)

Recommended conditions for approval are as follows:

- 1) That the Town of Pleasant Valley conditionally approves this final plat. Town meeting is scheduled for July 10th.
- 2) That the final plat be revised and/or updated to include:
 - Wetland ESA Outlot 2.
 - Wetland ESA protective area on Outlot 1.
 - Labels showing 30% slope on Lots 15, 16 (is currently labeled as 20%)
 - Graphic scale.
 - Statements added to the plat:
 - a. “Basement floors shall be built a minimum of 1’ above the seasonal high water table elevation.”
 - b. “Eau Claire County and the Town of Pleasant Valley have the perpetual right, privilege, and easement to enter upon any outlot and stormwater management facility to operate, repair, maintain, relocate, reconstruct, and replace said facilities as either of them, in their sole discretion, determines that any such action is necessary or desirable to accommodate anticipated flows of stormwater or melt water.”
 - Road Names (will require approval for recording and subsequent addressing)
 - Will need to add/clarify sufficient information to verify closures/acreages on Lots 2, 3, 4, 14, 15, 17, 18 and 20, as well as Outlot 1. For Lots 2-4, and 17, 18 this would be the span along/including the R/W. (14 and 15 are obscured by overlapping text)
 - Show dimensions to and label all PLSS corners used in establishing the boundary and indicate if they were found or set. Would recommend adding the PoB noted in the description.
 - Add line lengths for; south line of Lot 2, 3, 4, the lines separating/surrounding Lot 20 and Outlot 1, the subdistances for the east line of Lot 18 and West line of Lot 17, that portion of the north line lying in Hemlock Road and all right of way widths.
 - Remove “CSM in Progress” from the plat prior to signatures.

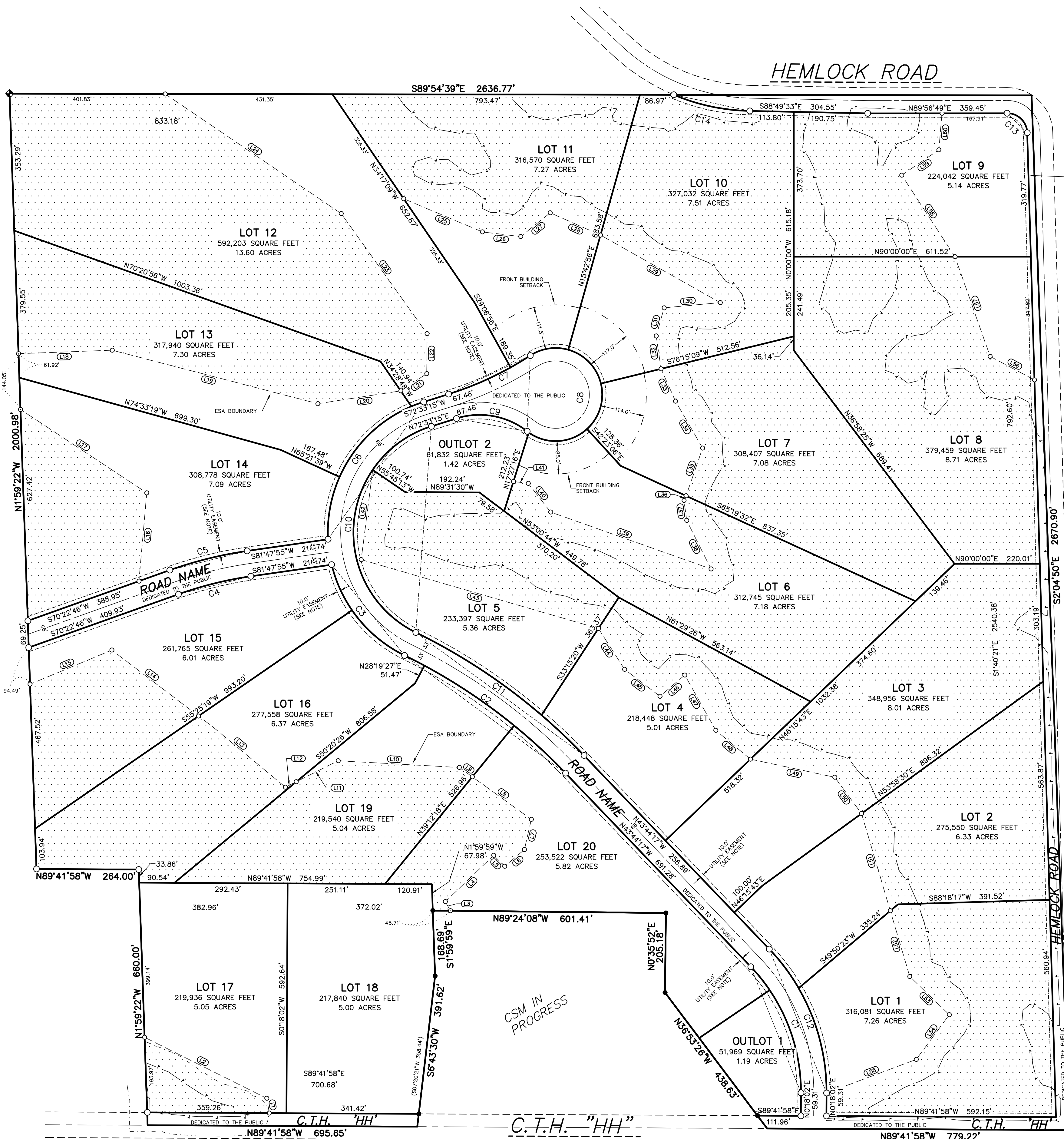
- Add correct plat name to Town Board Resolution, Sheet 2.
 - Identify outside diameter of found iron pipe.
 - Label road name County Road "HH" per USPS addressing schema.
 - Would recommend moving the 833.18' label closer to the line it references (north line, Lot 12) for clarity.
 - Complete Grantee portion of Utility Easement Provisions, Sheet 2.
- 3) That the soils conditions meet the approval of the City/County Health Department for installation of on-site sanitary systems.
 - 4) The groundwater map shall be submitted for review and approval by the City/County Health Dept.
 - 5) That the storm water plans meet the approval of the Eau Claire County Land Conservation Department.
 - 6) That the Final Plat conforms to 18.78.060 Final Plat Submittal, 18.78.070 Final Plat Review and Approval, 18.78.080 Recording of the Final Plat, 18.80 Final Plat, 18.82 Design Standards, 18.83 Required Improvements, 18.84 Subdivision Improvement Guarantees and 18.85.030 Legal, Engineering and Inspection Fees which are requirements and procedures outlined within the Subdivision Control of the County Code that may not have specifically identified previously in detail. (i.e., vision corner easements at all road intersections and noted with restrictions in 18.22.025; etc.)
 - 7) That the Final Plat complies with all applicable portions of s. 236 of the Wisconsin Statutes and that the Department of Administration has no objection to the final plat and certifies to this.
 - 8) That in submitting for final plat approval, the owner will also furnish to the county an abstract of title or a policy of title insurance certified to date for examination as allowed in s. 236.21 (2) (b).

Notes:

- 1) The Lot 20/Outlot 1 property line differs from the submitted stormwater plan. If any portion of the proposed stormwater swale is located on Lot 20, an easement is required. If an easement is required, the following language needs to be added to the plat:
"Stormwater easements are for the benefit of all lots in this plat. After installation of stormwater facilities within this plat (as per plan filed with Eau Claire County), the elevations of the ground within these easements cannot be altered without prior approval from Eau Claire County and the Town of Pleasant Valley. No improvement or object may be placed within these easements that would impede the flow of water." The developer will need to meet with the USPS Postmaster to determine type and location of mailbox installation for this development.
- 2) As of the time of this report assembly the Highway Department has not forwarded access conditions/limit notes for Lots 1, 17, 18, and Outlot 1. Comment pending and may require a statement on the final plat.
- 3) The developer will need to meet with the USPS Postmaster to determine type and location of mailbox installation for this development.

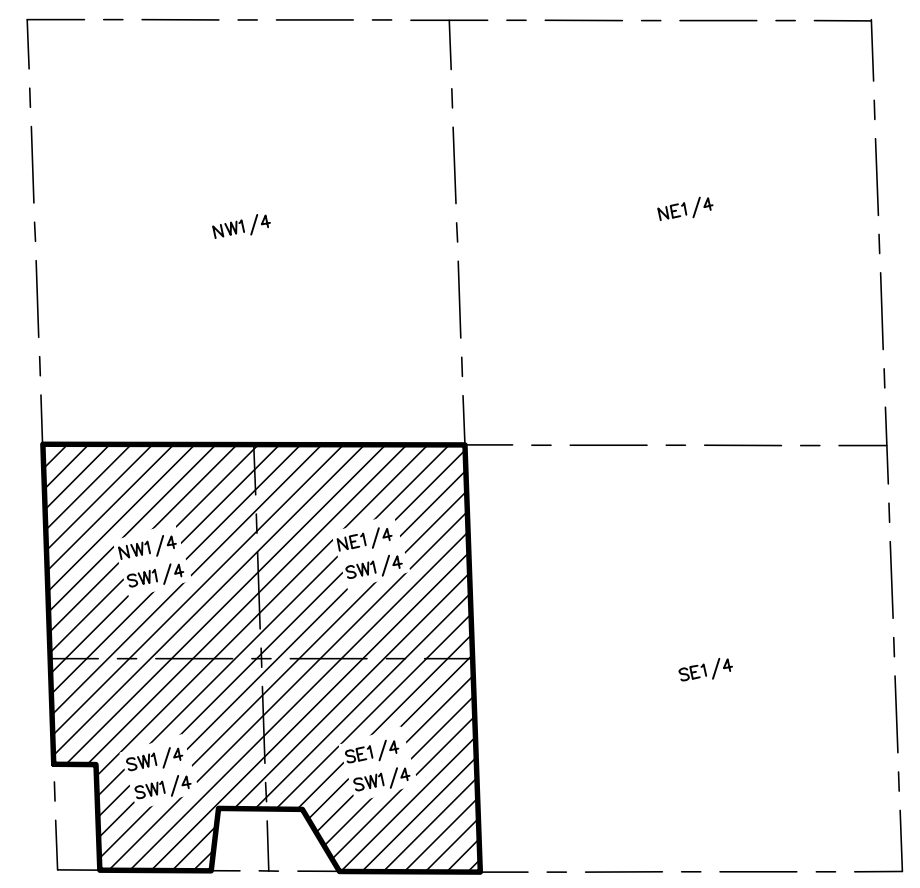
Respectfully submitted:

Dean J. Roth, PLS
Eau Claire County Surveyor
Land Records Division Supervisor
Department of Planning and Development
Room 3344 - 721 Oxford Avenue
Eau Claire, WI 54703-5481
Voice: 715-839-4742
FAX 715-831-5802
E-mail: dean.roth@co.eau-claire.wi.us



ABBREVIATIONS:
 COR. - CORNER
 CSM# - CERTIFIED SURVEY MAP
 FND. - FOUND
 MON. - MONUMENT
 O.D. - OUTSIDE DIAMETER
 R/W - RIGHT OF WAY
 R/W# - RANGE # WEST
 SEC. - SECTION
 SQ.FT. - SQUARE FEET
 S.T.H. - STATE TRUNK HIGHWAY
 T.#/R.# - TOWNSHIP #/RANGE #
 V.#/P.# - VOLUME #/PAGE #
 DOC.# - DOCUMENT #
 LBS./LF. - POUNDS PER LINEAR FOOT
 I.P. - IRON PIPE
 SE - SOUTHEAST
 NE - NORTHEAST
 SW - SOUTHWEST
 NW - NORTHWEST

LOCATION SKETCH OF THE SW¼ OF SECTION 32



BEARINGS REFERENCED TO THE SOUTH LINE OF THE SW¼, SECTION 32, ASSUMED BEARINGS OF S89°41'38\"/>

ENVIRONMENTALLY SENSITIVE AREAS NOTE:
 NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY. SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY ALLOWED UNDER ANY OF THE FOLLOWING:
 - TITLE 17
 - TITLE 19

- LEGEND**
- - FND. 1" I.P.
 - - SET 1-1/4" x 18" REBAR WEIGHING 4.30 LBS/LF
 - - SET 1" O.D. x 18" I.P. WEIGHING 1.13 LBS/LF
 - - SET 1" O.D. x 18" I.P. WEIGHING 1.13 LBS/LF AT ALL OTHER LOT CORNERS.
 - () - RECORDED AS
 - [Stippled Area] - ENVIRONMENTALLY SENSITIVE AREA
 - [Dashed Line] - DELINEATED WETLANDS
 - [Dashed Line] - UTILITY EASEMENTS, WIDTH AS SHOWN UNLESS NOTED OTHERWISE
 - [Solid Line] - EXISTING FENCE

LANDOWNERS/SUBDIVIDER:

- HIGHCLERE PROPERTIES LLC
 6176 SANDSTONE RD,
 EAU CLAIRE, WI 54701

APPROVING AUTHORITIES:

- TOWN OF PLEASANT VALLEY
 - EAU CLAIRE COUNTY

OBJECTING AUTHORITIES

- DEPARTMENT OF ADMINISTRATION

SURVEYOR

- PETER J. GARTMANN R.L.S. No. 2279
 REAL LAND SURVEYING
 1356 INTERNATIONAL DRIVE
 EAU CLAIRE, WI 54701

OUTLOT NOTES:

OUTLOTS 1 AND 2 ARE FOR STORM WATER REQUIREMENTS.
 OUTLOT 1 AND 2 WILL BE JOINTLY OWNED BY ALL LOTS, GIVING 1/20th OWNERSHIP.
 OUTLOTS 1 AND 2 IS NOT APPROVED FOR BUILDING PURPOSES, NO LAND USE OR SANITARY PERMITS FOR STRUCTURES, WILL BE ISSUED UNTIL THESE LOTS MEET ALL OF THE CRITERIA FOR A BUILDING LOT AS DEFINED BY TITLES 8, 17 AND 19 OF THE EAU CLAIRE COUNTY CODE.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____
 20 _____
 Department of Administration



JUNIPER RIDGE
 LOCATED IN THE SE¼ - SW¼, SW¼ - SW¼,
 NW¼ - SW¼, NE¼ - SW¼
 SECTION 32, T26N, R9W,
 TOWN OF PLEASANT VALLEY,
 EAU CLAIRE COUNTY, WISCONSIN

PREPARED BY REAL LAND SURVEYING
 CADD No. 21353 PLAT
 REVISION DATE: 06/15/2023

TOWN BOARD RESOLUTION:

RESOLVED THAT THIS THE PLAT OF LOWES, IN THE TOWN OF PLEASANT VALLEY, IS HEREBY, APPROVED BY THE TOWN BOARD OF THE TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN.

DATE APPROVED: (PRINT NAME): TOWN CHAIRMAN

(SIGNATURE) DATE: TOWN CHAIRMAN

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE TOWN BOARD OF THE TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN.

(SIGNATURE) TOWN CLERK

EAU CLAIRE COUNTY PLANNING AGENCY:

THIS PLAT KNOWN AS JUNIPER RIDGE IS APPROVED BY THE EAU CLAIRE COUNTY PLANNING AGENCY ON THIS DAY OF 2023. THERE ARE NO OBJECTIONS TO THIS PLAT WITH RESPECT TO SUBTITLE III, THE SUBDIVISION CONTROL, OF TITLE 18 OF THE COUNTY CODE OF GENERAL ORDINANCES.

CERTIFIED TO THIS DAY OF 2023

APPROVED: RODNEY J. ESLINGER, DEPARTMENT DIRECTOR

CERTIFICATE OF TOWN TREASURER:

STATE OF WISCONSIN COUNTY OF EAU CLAIRE §

I, JENNIFER MEYER, BEING THE DULY APPOINTED, ACTING AND QUALIFIED TREASURER OF THE TOWN OF PLEASANT VALLEY, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS THE DAY OF 2023, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF JUNIPER RIDGE IN THE TOWN OF PLEASANT VALLEY.

(SIGNATURE): JENNIFER MEYER, TOWN TREASURER

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN COUNTY OF EAU CLAIRE §

I, GLENDA J. LYONS, BEING THE DULY ELECTED, ACTING AND QUALIFIED TREASURER OF THE COUNTY OF EAU CLAIRE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS DAY 2023, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF JUNIPER RIDGE IN THE TOWN OF PLEASANT VALLEY.

(SIGNATURE): GLENDA J. LYONS, COUNTY TREASURER

PROPERTY DESCRIPTION:

IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION; THENCE N01°59'22"W, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, AT A DISTANCE OF 660.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ON N01°59'22"W, ALONG THE WEST LINE SAID SOUTHWEST 1/4, AT A DISTANCE OF 2000.98 FEET TO THE WEST 1/4 CORNER OF SAID SECTION; THENCE S89°54'39"E, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4, AT A DISTANCE OF 2636.77 FEET; THENCE S02°04'50"E, ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 AT A DISTANCE OF 2670.90 FEET TO THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE N89°41'58"W, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4, AT A DISTANCE OF 779.22 FEET TO THE SOUTHEAST CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS; THENCE N36°53'26"W, AT A DISTANCE OF 438.63 FEET TO A CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS; THENCE N00°35'52"E, AT A DISTANCE OF 205.18 FEET TO THE NORTHEAST CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS; THENCE N89°24'08"W, AT A DISTANCE OF 601.41 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS; THENCE S01°59'59"E A DISTANCE OF 168.69 FEET TO A CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS; THENCE S06°43'30"W A DISTANCE OF 391.62 FEET TO THE SOUTHWEST CORNER OF CERTIFIED SURVEY MAP CURRENTLY IN PROGRESS BEING ON THE SOUTH LINE OF THE SW1/4; THENCE N89°41'58"W, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4, AT A DISTANCE OF 695.65 FEET; THENCE N01°59'22"W, AT A DISTANCE OF 660.00 FEET; THENCE N89°41'58"W, AT A DISTANCE OF 264.00 FEET TO THE POINT OF BEGINNING; AND BEING SUBJECT TO EXSITING EASEMENTS

SURVEYOR'S CERTIFICATE:

I, PETER J. GARTMANN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS DAY OF 2023 PETER J. GARTMANN, P.L.S. 2279

CONSENT OF CORPORATE MORTGAGEE:

A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS THE PLAT OF JUNIPER RIDGE AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE HIGHCLERE PROPERTIES, LLC, OWNER OF SAID LAND.

IN WITNESS THEREOF, THE SAID HAS CAUSED THESE PRESENTS TO BE SIGNED BY,

(PRINT NAME) AND (PRINT NAME) AT WISCONSIN AND ITS CORPORATE SEAL TO BE HEREIN AFFIXED THIS DAY OF 2023

(SIGNATURE) (SIGNATURE)

(PRINT NAME/TITLE) (PRINT NAME/TITLE)

STATE OF COUNTY OF §

PERSONALLY APPEARED BEFORE ME THIS DAY OF 2023, THE ABOVE NAMED

(PRINT NAME) AND (PRINT NAME) TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.

NOTARY PUBLIC

MY COMMISSION EXPIRES:

UTILITY EASEMENT PROVISIONS:

AN EASEMENT FOR ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY

HIGHCLERE PROPERTIES, LLC, GRANTORS TO XXXXXXXXXXXX, GRANTEE XXXXXXXXXXXX, A WISCONSIN CORPORATION, GRANTEE XXXXXXXXXXXX, GRANTEE XXXXXXXXXXXX, GRANTEE XXXXXXXXXXXX, GRANTEE XXXXXXXXXXXX, GRANTEE

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, GAS, TELEPHONE AND CABLE TV AND INTERNET FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY OF ALL SUCH PURPOSES. NO FACILITY, PEDESTAL, CABLE OR ANY TYPE OF STRUCTURE SHALL BE INSTALLED CLOSER THAN THREE FEET FROM ANY LOT CORNER. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLE POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND ELECTRIC FACILITIES OR COMMUNICATION FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. BUILDINGS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis Stats. Certified 20 Department of Administration



Table with columns: CURVE, LOT NO, LENGTH, RADIUS, DELTA, CHD, CHD BR, 1ST TAN, 2ND TAN. It lists curve data for lots C1 through C14.

E.S.A. LINE TABLE with columns: Line #, Direction, Length. Lists 130 line segments with their bearings and distances.

E.S.A. LINE TABLE with columns: Line #, Direction, Length. Lists 130 line segments with their bearings and distances.

JUNIPER RIDGE LOCATED IN THE SE 1/4 - SW 1/4, SW 1/4 - SW 1/4, NW 1/4 - SW 1/4, NE 1/4 - SW 1/4 SECTION 32, T26N, R9W, TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN

Planning & Development

DEPARTMENT MISSION

The Department of Planning and Development is responsible for the professional development of long-range plans and equitable administration of codes and ordinances developed to promote the health, safety, and general welfare of citizens and visitors of Eau Claire County, as well as to preserve our natural resources and environment. Planning and Development is a multi-faceted department organized into six program areas. Emergency Management ensures disaster preparedness; mitigation; response; and recovery through planning and coordination between emergency services, County Administration, Wisconsin Emergency Management, and Federal Emergency Management Agency. Geographic Information Systems (GIS) develops and maintains our land records data into a series of electronic digital sources for the benefit of internal users, businesses, and the public. Land Conservation administers land and water conservation programs. Land Records maintains real property records and establishes and maintains the public land survey system. Land Use Controls administers a variety of land use and building codes. Planning prepares land use reports, short and long-term plans, and administers the recycling and sustainability program. Two administrative support staff assists with the programs. The following is a breakdown of the Planning and Development department's programs as they relate to the County Board budget section summaries.

- Conservation and Economic Development
 - Land Conservation Watershed
 - Code Administration – Land Use and Building
 - Planning – Current and Long Range
- General Government
 - Land Records - Real Property Listing and Resurvey
 - Geographic Information Systems (GIS)
- Public Safety
 - Emergency Management (EM)
- Public Works
 - Planning – Recycling and Sustainability

DEPARTMENT BUDGET HIGHLIGHTS

Planning and Development has submitted a responsible budget that financially addresses the needs of the department's six programs that support economic development while protecting the important resources of the County. The proposed budget has considered several fee changes to the code to offset increases in the cost of doing business and serving our customers. The overall budget increases are reflective due to the projected benefit increases (insurance premiums and the compensation project). Outside of those increases, the 2024 budget is similar with the past two approved Planning and Development budgets.

STRATEGIC DIRECTION AND PRIORITY ISSUES

- Annually review funding sources/grants to identify funds that would offset reliance on the county levy.
- Identify key economic strategies for the rural Eau Claire County while working with the Eau Claire Economic Development Cooperation with a focus on agricultural, residential, commercial, tourism, broadband, recreation, and other areas that impact economic activity.
- Support the expansion of Rural Broadband in the County through the efforts of the County's Broadband Committee.
- Need to identify funding (capital and operational) to support sustainability projects and program development. Projects would include renewable energy investments, policy development, electric vehicle charging stations on County owned property, and community and educational outreach efforts.

Planning & Development

- Land Conservation through its conservation programming will continue to take a comprehensive and proactive approach to improve water quality and enhance overall environmental health of this significant water resource for residents and visitors of Eau Claire County.
- Continue to promote increased participation in the Farmland Preservation Program and the Golden Triangle Ag Enterprise Area.
- Develop a Community Climate Action Resilience Plan (CARP) that can be used as a guidance document to work toward meeting the County Board's carbon neutrality goals.
- Ensure that Eau Claire County has staff trained in incidental command system (ICS). Continue to work with the Cities of Altoona and Eau Claire, UW-EC, Fire, Law, and medical/EMS on educational incident command opportunities. Develop an Emergency Operations Center (EOC) leadership for the county and revise EOC checklists.
- Completion of the Comprehensive Zoning Code Update will allow the county to align with emerging development trends, which will support the local economy while balancing property values and protecting the County's resources.
- Provide educational seminars for the professional development community, engineering and planning consultants, agricultural partners, excavating companies, Chippewa Valley Realtor's Association, Chippewa Valley Home Builder's Association, Eau Claire County Town's Association, and others on related departmental services and processes.
- Expanding GIS Usage and Capabilities - GIS staff will work with departments to educate them on the functions and values of the GIS map services (story maps). The launch of the GIS HUB site expands GIS services to the citizens of Eau Claire County.
- Provide quality onboarding experiences by offering new employees with the resources and tools so they can be successful in their roles and duties.
- Increase amount of social (Facebook, Twitter) and traditional media interaction as part of public education outreach program about our services and meetings.
- Continue to evaluate the department's webpage so that it provides the most up-to-date information/links for the public to access.
- Search out technology solutions to improve efficiencies across the department programs.
- Staff and the committee will review department policies and county land use and building codes on an annual basis to ensure alignment with the goals and policies of local and county comprehensive plans; protecting property values, and fostering both development and economic growth, while complying with local, state, and federal law.
- Identify ways to stay ahead of changing weather conditions and emergency situations while providing appropriate notice, plans, training, and exercises to all municipalities.
- Review departmental fees annually to verify the fees cover administrative costs and services without putting a burden on the citizens of Eau Claire County.
- Continue staff training/education opportunities that will promote staff development, resulting in continued excellent customer service.
- Evaluate internal processes and procedures to identify areas of process improvement and efficiencies.
- Continued cross-training of department staff; this includes P&D staff assisting other program areas.

TRENDS AND ISSUES ON THE HORIZON

- Provide education to the County Board on the rezoning process, remonumentation program, and comprehensive planning. Growth on the urban fringe, as recently exemplified by the recent annexation of the Orchard Hills property to the City of Eau Claire, continues to be a highly contentious issue in the community. Public opposition of development is a significant and growing issue that impacts the ability of property owners and developers to provide desired and needed housing in the community consistent with town and county comprehensive plans and land use regulations.
- Raising interest rates could have a significant negative impact on the number of new construction projects. Currently permit numbers appear similar to the previous couple of years, but if rates increase it could result in a downward shift in new construction projects.

Planning & Development

- Weather patterns have been fluctuating between cold, hot, wet and dry extremes (which negatively impacts construction and agricultural practices). The Land Conservation team is continuously educating and assisting producers in implementing practices that aid in climate resiliency.

OPERATIONAL CHANGES IN 2024

- None anticipated.

POSITION CHANGES IN 2024

- Recycling and Sustainability Coordinator.

OPERATIONAL CHANGES – WITH FISCAL IMPACT

- Updating the department’s vehicles to more fuel efficient or electric vehicles will help reduce fuel expenses.

OPERATIONAL CHANGES – WITHOUT FISCAL IMPACT

- Continue to offer more information, such as orthros and LIDAR, free of charge to the requester through the GIS Hub site. This allows staff to focus on parcel and land record updates to the parcel fabric.
- InspectWiz online building permit application continues to provide a low budget solution that allows builders and contractors full access to county permitting and inspections services.
- Ascent Land Records improves the overall time it takes to process a recorded document and to update its attributes in the programs. Benefits include online permitting that offers the customer 24/7 access to our system, online payment and issued permits are emailed directly to the customer/builder/contractors with no need to come to the courthouse. The program also eliminates the need for paper copies as the system now maintains a digital permit application file.
- Continue to build trusting relationships with the County partners, such as the town, village and city of ficials, agricultural partners, builders, contractors, engineers, first responders, surveyors, and property owners.

KEY ASSUMPTIONS AND POTENTIAL RISKS

- Any loss of state and federal funding could impact certain programs and staffing within Planning and Development.
- Inflation could impact consumer confidence and that may result in fewer permits being applied for that would impact the department’s revenue.
- Outside of inflation other factors could impact permitting and development activities in 24’, such as interest rates, costs of construction materials, limited affordable housing stock, and work force availability.
- Ongoing ground and surface water quality issues will continue to require attention across the county.
- Climate change is causing more extreme weather events and increasing the frequency that we see historic storms. There has been talk about increasing the rain amounts for storm events. Conservation projects would then need to be designed to hold more water and increase the overall cost to install them.
- Increase in highway funding will lead to more improvement projects that could impact Public Land Survey System (PLSS) monuments in road right of ways, if the monuments are not protected timely, they could be destroyed.
- The state anticipates all counties will be switching over to NextGen9-1-1 by end of year 2024. Department staff continues to attend trainings, improve data, and engage in discussions with city and county staff on the next steps in the process.

Planning & Development

- Again, the County should consider moving the financial support for the Lake Protection and Rehabilitation Districts, per section 17.02.090 C. of the county code, from capital to operations.

Planning & Development

Overview of Revenues and Expenditures

Revenues	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Tax Levy/General Revenue Allocation	\$947,632	\$1,021,146	\$1,021,146	\$1,163,829	14%
02-Sales Tax	-	-	-	-	
03-Other Taxes	\$116,648	\$105,612	\$100,000	\$100,000	-5%
04-Intergovernment Grants and Aid	\$813,790	\$949,072	\$1,136,828	\$959,362	1%
05-Intergovernmental Charges for Services	\$5,149	-	\$279	-	
06-Public Charges for Services	\$1,077,791	\$1,040,000	\$1,044,250	\$1,047,500	1%
07-Licenses & Permits	\$445,198	\$340,440	\$340,440	\$340,440	0%
08-Fines & Forfeitures	-	-	-	-	
09-Other Revenue	\$34,507	\$32,110	\$60,603	\$32,000	0%
10-Bond Proceeds	-	-	-	-	
11-Fund Balance Applied	-	\$20,831	\$20,831	\$34,346	65%
12-Fund Transfers	-	-	\$20,000	-	
Total Revenues:	\$3,440,716	\$3,509,211	\$3,744,377	\$3,677,477	5%

Expenditures	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Regular Wages	\$1,161,643	\$1,254,549	\$1,248,722	\$1,346,120	7%
02-OT Wages	\$842	\$400	\$500	\$500	25%
03-Payroll Benefits	\$469,117	\$502,932	\$511,470	\$521,600	4%
04-Contracted Services	\$1,421,145	\$1,509,980	\$1,601,763	\$1,534,795	2%

05-Supplies & Expenses	\$140,952	\$162,964	\$168,689	\$183,732	13%
06-Building Materials	-	-	-	-	
07-Fixed Charges	\$9,746	\$11,417	\$11,417	\$15,325	34%
08-Debt Service	-	-	-	-	
09-Equipment	\$50,231	\$66,969	\$66,619	\$69,405	4%
10-Grants, Contributions, Other	-	-	\$3,000	\$6,000	
11-Other	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Expenditures:	\$3,253,674	\$3,509,211	\$3,612,180	\$3,677,477	5%

Net Surplus/(Deficit)- Planning & Development	\$187,041	\$0	\$132,197	\$0	
--	------------------	------------	------------------	------------	--

Planning & Development

Revenues and Expenditures - General Fund

Revenues	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Tax Levy/General Revenue Allocation	\$937,632	\$1,011,146	\$1,011,146	\$1,153,829	14%
02-Sales Tax	-	-	-	-	
03-Other Taxes	-	-	-	-	
04-Intergovernment Grants and Aid	\$273,330	\$330,773	\$377,790	\$299,977	-9%
05-Intergovernmental Charges for Services	-	-	-	-	
06-Public Charges for Services	\$60,276	\$40,000	\$44,250	\$42,000	5%
07-Licenses & Permits	\$445,198	\$340,440	\$340,440	\$340,440	0%
08-Fines & Forfeitures	-	-	-	-	
09-Other Revenue	(\$679)	\$1,000	\$1,000	\$1,000	0%
10-Bond Proceeds	-	-	-	-	
11-Fund Balance Applied	-	\$20,831	\$20,831	-	-100%
12-Fund Transfers	-	-	\$20,000	-	
Total Revenues:	\$1,715,757	\$1,744,190	\$1,815,457	\$1,837,246	5%

Expenditures	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Regular Wages	\$1,070,069	\$1,170,672	\$1,152,004	\$1,251,188	7%
02-OT Wages	\$572	\$400	\$500	\$500	25%
03-Payroll Benefits	\$331,563	\$363,059	\$370,649	\$389,167	7%
04-Contracted Services	\$70,853	\$68,668	\$56,439	\$48,274	-30%

05-Supplies & Expenses	\$75,342	\$68,290	\$73,745	\$70,640	3%
06-Building Materials	-	-	-	-	
07-Fixed Charges	\$4,055	\$6,132	\$6,132	\$8,072	32%
08-Debt Service	-	-	-	-	
09-Equipment	\$50,231	\$66,969	\$65,619	\$69,405	4%
10-Grants, Contributions, Other	-	-	-	-	
11-Other	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Expenditures:	\$1,602,684	\$1,744,190	\$1,725,088	\$1,837,246	5%

Net Surplus/(Deficit)- Planning & Development- General Fund	\$113,072	\$0	\$90,369	\$0	
--	------------------	------------	-----------------	------------	--

Planning & Development

Revenues and Expenditures - County Land Records Fund

Revenues	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Tax Levy/General Revenue Allocation	-	-	-	-	
02-Sales Tax	-	-	-	-	
03-Other Taxes	\$116,648	\$105,612	\$100,000	\$100,000	-5%
04-Intergovernment Grants and Aid	-	-	\$100,500	\$11,000	
05-Intergovernmental Charges for Services	-	-	-	-	
06-Public Charges for Services	-	-	-	-	
07-Licenses & Permits	-	-	-	-	
08-Fines & Forfeitures	-	-	-	-	
09-Other Revenue	-	-	-	-	
10-Bond Proceeds	-	-	-	-	
11-Fund Balance Applied	-	-	-	\$34,346	
12-Fund Transfers	-	-	-	-	
Total Revenues:	\$116,648	\$105,612	\$200,500	\$145,346	38%

Expenditures	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Regular Wages	\$11,653	\$5,213	\$14,000	\$23,500	351%
02-OT Wages	-	-	-	-	
03-Payroll Benefits	\$100,891	\$100,399	\$101,050	\$101,846	1%
04-Contracted Services	\$30,538	-	\$120,284	\$19,000	

05-Supplies & Expenses	-	-	\$1,000	\$1,000	
06-Building Materials	-	-	-	-	
07-Fixed Charges	-	-	-	-	
08-Debt Service	-	-	-	-	
09-Equipment	-	-	\$1,000	-	
10-Grants, Contributions, Other	-	-	-	-	
11-Other	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Expenditures:	\$143,083	\$105,612	\$237,334	\$145,346	38%

Net Surplus/(Deficit)- Planning & Development- County Land Records Fund	(\$26,435)	\$0	(\$36,834)	\$0	
--	-------------------	------------	-------------------	------------	--

Planning & Development

Revenues and Expenditures - Watershed Grant Fund

Revenues	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Tax Levy/General Revenue Allocation	\$10,000	\$10,000	\$10,000	\$10,000	0%
02-Sales Tax	-	-	-	-	
03-Other Taxes	-	-	-	-	
04-Intergovernment Grants and Aid	\$49,506	\$127,345	\$146,953	\$139,250	9%
05-Intergovernmental Charges for Services	\$5,149	-	\$279	-	
06-Public Charges for Services	\$5,696	\$5,000	\$5,000	\$5,500	10%
07-Licenses & Permits	-	-	-	-	
08-Fines & Forfeitures	-	-	-	-	
09-Other Revenue	-	-	\$27,414	-	
10-Bond Proceeds	-	-	-	-	
11-Fund Balance Applied	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Revenues:	\$70,351	\$142,345	\$189,646	\$154,750	9%

Expenditures	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Regular Wages	-	-	-	-	
02-OT Wages	-	-	-	-	
03-Payroll Benefits	-	-	-	-	
04-Contracted Services	\$34,372	\$122,800	\$122,800	\$129,250	5%

05-Supplies & Expenses	\$9,107	\$19,545	\$20,188	\$25,500	30%
06-Building Materials	-	-	-	-	
07-Fixed Charges	-	-	-	-	
08-Debt Service	-	-	-	-	
09-Equipment	-	-	-	-	
10-Grants, Contributions, Other	-	-	-	-	
11-Other	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Expenditures:	\$43,478	\$142,345	\$142,988	\$154,750	9%

Net Surplus/(Deficit)- Planning & Development- Watershed Grant Fund	\$26,873	\$0	\$46,658	\$0	
--	-----------------	------------	-----------------	------------	--

Planning & Development

Revenues and Expenditures - Recycling Program Fund

Revenues	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Tax Levy/General Revenue Allocation	-	-	-	-	
02-Sales Tax	-	-	-	-	
03-Other Taxes	-	-	-	-	
04-Intergovernment Grants and Aid	\$490,954	\$490,954	\$511,585	\$509,135	4%
05-Intergovernmental Charges for Services	-	-	-	-	
06-Public Charges for Services	\$1,011,819	\$995,000	\$995,000	\$1,000,000	1%
07-Licenses & Permits	-	-	-	-	
08-Fines & Forfeitures	-	-	-	-	
09-Other Revenue	\$35,186	\$31,110	\$32,189	\$31,000	0%
10-Bond Proceeds	-	-	-	-	
11-Fund Balance Applied	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Revenues:	\$1,537,960	\$1,517,064	\$1,538,774	\$1,540,135	2%

Expenditures	2022	2023	2023	2024	%
	Actual	Adjusted Budget	Estimate	Request	Change
01-Regular Wages	\$79,921	\$78,664	\$82,718	\$71,432	-9%
02-OT Wages	\$271	-	-	-	
03-Payroll Benefits	\$36,662	\$39,474	\$39,771	\$30,587	-23%
04-Contracted Services	\$1,285,382	\$1,318,512	\$1,302,240	\$1,338,271	1%

05-Supplies & Expenses	\$56,503	\$75,129	\$73,756	\$86,592	15%
06-Building Materials	-	-	-	-	
07-Fixed Charges	\$5,691	\$5,285	\$5,285	\$7,253	37%
08-Debt Service	-	-	-	-	
09-Equipment	-	-	-	-	
10-Grants, Contributions, Other	-	-	\$3,000	\$6,000	
11-Other	-	-	-	-	
12-Fund Transfers	-	-	-	-	
Total Expenditures:	\$1,464,429	\$1,517,064	\$1,506,770	\$1,540,135	2%

Net Surplus/(Deficit)- Planning & Development- Recycling Program Fund	\$73,531	\$0	\$32,004	\$0	
--	-----------------	------------	-----------------	------------	--

FEE CHANGE

Department: Planning and Development

Contact Person: Ben Bublitz, Land Use Manager

(Phone): 715-839-4743

Effective Date:

County Code Section List Chronologically	Current Fee Amount	New or Revised Fee Amount	Reason For Change	Anticipated or Increased Annual Revenue	Governing Committee Vote and Date of Approval
4.35.090 A. 1.	\$245.00	\$250.00	Reflects cost to cover operating expenses	\$500.00	
4.35.090 A. 2. b.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses	\$300.00	
4.35.090 A. 2. c.	Maximum fee \$245.00	Maximum Fee \$250.00	Reflects cost to cover operating expenses	\$100.00	
4.35.090 B. 1. a.	\$245.00	\$250.00	Reflects cost to cover operating expenses		
4.35.090 B. 1. b.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses		
4.35.090 B. 1. c.	\$3,400.00	\$3,500.00	Reflects cost to cover operating expenses	\$400.00	
4.35.090 B. 2. a.	\$115.00	\$120.00	Reflects cost to cover operating expenses	\$20.00	
4.35.090 B. 2. b.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses		
4.35.090 B. 2. c.	\$3,400.00	\$3,500.00	Reflects cost to cover operating expenses	\$100.00	
4.32.090 E.	\$545.00	\$550.00	Reflects cost to cover operating expenses	\$75.00	
4.32.090 F.	\$545.00	\$550.00	Reflects cost to cover operating expenses	\$10.00	
4.32.090 G.	\$545.00	\$550.00	Reflects cost to cover operating expenses	\$200.00	
4.32.090 H.	\$545.00	\$550.00	Reflects cost to cover operating expenses	\$200.00	
4.32.090 I.	\$55.00	\$60.00	Reflects cost to cover operating expenses	\$200.00	
4.32.090 J.	\$75.00	\$80.00	Reflects cost to cover operating expenses	\$200.00	
4.32.090 L.	\$545.00	\$550.00	Reflects cost to cover operating expenses	\$5.00	
4.35.092 A. 1.	\$245.00	\$250.00	Reflects cost to cover operating expenses	\$200.00	
4.35.092 A. 2. a.	\$57.00	\$55.00	Current fee correction		
4.35.092 A. 2. b.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses	\$200.00	
4.35.092 A. 2. c.	\$245.00	\$250.00	Reflects cost to cover operating expenses	\$300.00	
4.35.092 A. 7.	\$545.00	\$550.00	Reflects cost to cover operating expenses		
4.35.092 A. 8.	\$545.00	\$550.00	Reflects cost to cover operating expenses		

4.35.095 B. 1.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses	\$100.00	
4.35.095 B. 2.	\$0.27/sq.ft.	\$0.28/sq.ft.	Reflects cost to cover operating expenses	\$50.00	
4.35.095 C.	\$545.00	\$550.00	Reflects cost to cover operating expenses		
4.35.095 D.	\$545.00	\$550.00	Reflects cost to cover operating expenses		
4.35.110 A.	\$470.00 plus \$90.00/lot	\$480.00 plus \$95.00/lot	Reflects cost to cover operating expenses	\$400.00	
4.35.110 B.	\$240.00 plus \$95.00/lot	245.00 plus \$95.00/lot	Reflects cost to cover operating expenses	\$600.00	
4.35.110 C.	\$115.00/lot	\$120.00/lot	Reflects cost to cover operating expenses	\$400.00	
4.35.110 D.	\$265.00	\$270.00	Reflects cost to cover operating expenses	\$400.00	
4.35.110 E.	\$215.00	\$220.00	Reflects cost to cover operating expenses	\$50.00	
4.35.135 A.	\$470 plus \$90.00/unit	\$480.00 plus \$95.00/lot	Reflects cost to cover operating expenses	\$200.00	
4.35.135 B.	\$115.00/unit/ parcel	\$120/unit/ parcel	Reflects cost to cover operating expenses	\$200.00	
4.35.160 D.	\$490.00	\$500.00	Reflects cost to cover operating expenses	\$200.00	
4.35.160 E.	\$490.00 plus \$40.00/4,000 sq.ft. of impervious surface	\$500.00 plus \$50.00/4,000s q.ft. of impervious surface	Reflects cost to cover operating expenses	\$400.00	
4.35.160 F. 3.	\$290.00 plus \$20.00/4,000 sq.ft. of impervious for storm water	\$300.00 plus \$30.00/4,000s q.ft. of impervious for storm water	Reflects cost to cover operating expenses	\$400.00	
15.01.110 A. 1.	\$0.58/sq. ft. living area \$460 minimum	\$0.60/sq. ft. living area \$475 minimum	Reflects cost to cover operating expenses	\$300.00	
15.01.110 A. 2.	\$0.58/sq. ft. living area \$460 minimum	\$0.60/sq. ft. living area \$475 minimum	Reflects cost to cover operating expenses	\$50.00	
15.01.110 A. 3. a.	\$250.00	\$255.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 3. b.	\$0.58/sq. ft. \$250 minimum	\$0.60/sq. ft. \$255 minimum	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 4.	\$510.00	\$525.00	Reflects cost to cover operating expenses		

15.01.110 A. 5.	\$0.58/sq.ft	\$0.60/sq.ft.	Reflects cost to cover operating expenses		
15.01.110 A. 7.	\$150.00	\$175.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 A. 10. a.	\$145.00	\$290.00	Reflects cost to cover operating expenses	\$11,600.00	
15.01.110 A. 11. a.	\$70.00	\$145.00	Updated to reflect updated erosion control fee		
15.01.110 A. 12. a.	\$250.00	\$255.00	Reflects cost to cover operating expenses	\$25.00	
15.01.110 A. 12. b.	\$150.00	\$155.00	Reflects cost to cover operating expenses	\$25.00	
15.01.110 A. 13	\$150.00	\$155.00	Reflects cost to cover operating expenses		
15.01.110 A. 14. a.	\$125.00	\$130.00	Reflects cost to cover operating expenses	\$300.00	
15.01.110 A. 14. b.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$200.00	
15.01.110 A. 14. c.	\$125.00	\$130.00	Reflects cost to cover operating expenses	\$20.00	
15.01.110 A. 14. d.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 14. e. i.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 14. e. ii.	\$225.00	\$230.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 14. e. iii.	\$350.00	\$360.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 A. 14. f.	\$175.00	\$180.00	Reflects cost to cover operating expenses		
15.01.110 B. 1.	\$0.14/sq.ft. Minimum fee \$150.00 Maximum fee \$3,500.00	\$0.14/sq.ft. Minimum fee \$155.00 Maximum fee \$3,600.00	Reflects cost to cover operating expenses	\$100.00	
15.01.110 B. 2.	\$0.14/sq.ft. Minimum fee \$150.00 Maximum fee \$3,500.01	\$0.14/sq.ft. Minimum fee \$155.00 Maximum fee \$3,600.01	Reflects cost to cover operating expenses	\$200.00	
15.01.110 B. 3. a.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$200.00	
15.01.110 B. 3. b.	\$225.00	\$260.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. c.	\$150.00	\$155.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. d.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. e.	\$250.00	\$255.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. f.	\$150.00	\$155.00	Reflects cost to cover operating expenses	\$50.00	

15.01.110 B. 3. g.	\$450.00	\$460.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. h. i.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. h. ii.	\$225.00	\$320.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. h. iii.	\$350.00	\$360.00	Reflects cost to cover operating expenses	\$50.00	
15.01.110 B. 3. h. iv.	\$350.00	\$360.00	Reflects cost to cover operating expenses	\$200.00	
15.01.110 B. 3. i.	\$175.00	\$180.00	Reflects cost to cover operating expenses	\$100.00	
Text Change	15.01.120 Penalties				
	A. Uniform Dwelling Code. No person shall construct or alter any dwelling in violation of any of the provisions of this code. Pursuant to Wis. Stat. §§ 101.66 and 101.77, whoever violates this code shall forfeit to the county not less than \$25.00 nor more than \$500.00 for each violation. Each day that the violation continues, after written notice, shall constitute a separate offense.				
	B. Structures covered under Wis. Admin. Code ch. SPS 360-366. Pursuant to Wis. Stat. § 101.02(13)(a), any person who violates this code shall forfeit to the county not less than \$10.00 nor more than \$100.00 for each such offense.				
	C. B. Fees may be doubled if work is commenced prior to the issuance of a permit.				