

AGENDA

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, April 27, 2021

Time: 7:00 p.m.

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 145 882 5915 Password: BmzX3yDsa54

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 1458825915##

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@co.eau-claire.wi.us at least 30 minutes prior to the start of the meeting. You will be called on during the public comment period to make your comments.

**Please mute personal devices upon entry*

1. Call to Order and confirmation of meeting notice
2. Roll Call
3. Public Comment **(15 minute maximum)**
4. Public Hearings
 - a. A conditional use permit (CUP-0005-21) request to operate an Auto/Truck repair and welding/fabrication after-the-fact in the A-2 Agriculture-Residential District, (Raven) Town of Union. / Discussion – Action **PAGES 2-26**
 - b. A conditional use permit (CUP-0007-21) request for cumulative area of all accessory structures to exceed 1,200 square feet (1,600 square feet requested) in the R-1-M District (Guibord) Town of Washington. / Discussion – Action **PAGES 27-44**
5. Emergency Management Program Update / Discussion
6. Committee review of public hearing items / Discussion – Action
7. Review/Approval of April 13, 2021 Meeting Minutes / Discussion – Action **PAGES 45-47**
8. Proposed Future Agenda Items / Discussion
 - a. May 11, 2021 meeting has been canceled.
 - b. Next scheduled meeting May 25, 2021
9. Adjourn

Prepared by: Cheryl Cramer

Please note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language, interpreters or other auxiliary aids. For additional information or to request the service, contact the County ADA Coordinator at 839-4710 (FAX) 839-1669 or (TDD) 839-4735 or by writing to the ADA Coordinator, Human Resources Department, Eau Claire County Courthouse, 721 Oxford Ave., Eau Claire, Wisconsin 54703

CONDITIONAL USE PERMIT NUMBER: CUP-0005-21

COMPUTER NUMBERS: 022-1017-07-000

PUBLIC HEARING DATE: April 27, 2021

STAFF CONTACT: Jared Grande, Land Use Manager

OWNER: Jack Raven, 10077 County Line Rd, Elk Mound, WI 54739

AGENT: owner

REQUEST: Conditional use permit for a cottage industry; after-the-fact Auto/Truck repair and welding/fabrication.

LOCATION: 10077 County Line Rd, Elk Mound, WI 54739

LEGAL DESCRIPTION: LOT 1 OF CSM V.10 PG.260 (#1924) LYG IN THE FRAC NE-NW & SE-NW CONT 9.92 AC WITH RD R/W OR 9.71 AC WITHOUT RD R/W, Section 06, T27N-R10W, Town of Union

SUMMARY

The request is for a conditional use permit to operate an Auto/Truck repair and welding/fabrication after-the-fact. The applicant is the owner of recently created County Line Repair LLC. The owner has several other businesses including Big Rig Towing and Transport LLC; the owner indicated in the application Big Rig Towing and Transport LLC is operated at 6111 Chuck Lane. County Line Repair LLC has no employees at this time and the equipment used will be forklift, skid steer, hand tools, welder, and metal cutting saw. Hours listed are by appointment only. Transplanted pine trees and a proposed 6-foot white fence are measures to combat noise/sound on the east side of the property.

The application materials include a scaled site plan, land use permit for 5,760 square foot accessory building, floor plan, elevation drawings, and erosion control permit.

BACKGROUND

REQUEST CHARACTERISTICS:

- Overall property size is 9.92 acres.
- The site is located off County Line Rd, just south of Chippewa County; Dunn County is approx. 1/3 miles to the west.
- There is an existing single-family home with attached garage and accessory structure prior to the 5,760 square foot building being constructed.

CURRENT ZONING: A-2 Agriculture-Residential District. The purpose of the A-2 District is to: "A. Provide an area for limited residential and hobby farm development in a rural atmosphere; B. Preserve the county's natural resources and open space."

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	A-3	Agricultural/Residential
West	A-3	Agricultural
South	A-3	Agricultural/Residential
East	A-2	Agricultural

LAND USE PLANS: The County and Town of Union Comprehensive Plan Future Land Use Maps both include this property in the Commercial Industrial (CI) planning area.

Eau Claire County:

Commercial Industrial Comprehensive Plan Intent and Description: The intent of this classification is to identify areas for a mix of commercial or industrial development that enhances the tax base, creates employment and provides needed goods and services to residents. The CI areas include land along major transportation corridors or near existing commercial or industrial development. At the time of original adoption of this Plan, this classification was only in use within the Town of Union; however, CI might be appropriate in other portions of the County, contingent upon County and local approval.

Town of Union:

Commercial Industrial Comprehensive Plan Intent and Description: The Town of Union recognizes the importance of commercial and industrial development for enhancing its tax base, creating employment and providing needed goods and services to Town residents. Hence, commercial and industrial development is appropriate for areas designated for those uses, such as on major transportation corridors or near existing commercial or industrial development. This includes areas within the City of Eau Claire’s Extraterritorial Plat Review Jurisdiction Area. Urban sewer service is required for new commercial and industrial uses within the Urban Sewer Service Area if such service is available.

APPLICABLE ZONING REGULATIONS

Section 18.01.010 Purpose. This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Section 18.05.001 Purpose. The A-2 agriculture-residential district is established to:

- A. Provide an area for limited residential and hobby farm development in a rural atmosphere;
- B. Preserve the county's natural resources and open space;

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses: 1) the use must be in conformance with the purpose of the zoning district it is located in; 2) the use will not be injurious to the use and enjoyment of other property in the immediate vicinity; 3) adequate utilities, access, drainage and other necessary facilities have been or are provided; 4) adequate off-street parking is provided; 5) adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; 6) soil conditions are adequate to support the use; 7) access does not pose traffic congestion or hazards.

Section 18.23.001 Purpose. The purpose of this chapter is to set standards under which home occupations, home businesses and cottage industries may be conducted so that such occupations, businesses and industries do not undermine the purpose and intent of this subtitle and the purposes of all agricultural and residential districts.

Section 18.23.030 Cottage Industries. Cottage industries are a conditional use in the following zoning districts: A-1 Exclusive Agricultural District, A-2 Agricultural-Residential District...and the use conforms to the following performance standards: A-V

ANALYSIS: The following is an analysis of the request based upon the standards for approval of conditional use permits:

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses:

- 1) The use must be in conformance with the purpose of the zoning district it is located in; *cottage industries are allowed in the A-2 District with a conditional use permit approval.*
- 2) The use will not be injurious to the use and enjoyment of other property in the immediate vicinity; *the proposed use could have impacts to the neighbors with noises generated by the machines/tools used for the business. The applicant indicated there are transplanted pine trees and a proposed 6-foot-tall white panel fence to be installed in the spring on the east property line. No proposed employees other than the owner will help reduce negative impacts.*
- 3) Adequate utilities, access, drainage and other necessary facilities have been or are provided; *the property has existing facilities onsite including receiving a permit for erosion control. There is no mention of a bathroom facility onsite.*
- 4) Adequate off-street parking is provided; *the county code requires 1 stall per each employee on a major shift, plus 3 stalls per service bay. There are no employees outside of the owner(s) and no indication on the number of service bays; the customer/employee parking area can serve six (6) parking stalls based on county code requiring 180 square feet for each parking space. The proposed equipment/customer parking area is approx. 60-foot by 80-foot in size, able to serve 27 stalls.*
- 5) Adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; *the applicant has proposed a 6-foot-high white fence in cohort with vegetation (conifers) along the east property line. There is no further indication of how the applicant would prevent odors, fumes, dust, noise, and vibration.*
- 6) Soil conditions are adequate to support the use; *it appears the soils are adequate to support the use.*
- 7) Access does not pose traffic congestion or hazards; *the site has an existing access off County Line Rd; property is near Federal Highway 12 and Interstate 94/WI State Hwy 312.*

TOWN BOARD ACTION: The Town Board for the Town of Union will meet on April 20, 2021 to review the request.

STAFF CONCLUSIONS AND RECOMMENDATION: Staff has concluded that the proposed cottage industry is consistent with the purpose of the zoning code, consistent with the standards for conditional use permits, adheres to applicable zoning regulations, and adheres to 2017 Wisconsin Act 67 and Wis. Stat. 59.69(5e). Staff has concerns with the owner operating the business regardless of department staff issuing the land use permit for the 5,760 square foot building noting it shall not be used for business purposes. If this is an indication, staff has concerns with the owner not adhering to the conditions/application materials if approved.

Staff recommends approval of the conditional use permit with the following conditions:

1. The conditional use permit is granted for a cottage industry to operate an auto/truck repair and welding/fabrication after-the-fact. The scaled site plan, building drawings and the narrative shall be attached to and made part of the permit. Any updates/corrections to the floor plan shall be submitted to the department within 30 days of approval of the conditional use permit.
2. Property shall comply with all applicable laws and regulations including, but not limited to, land use, building, erosion control, and sanitary provisions.
3. The business shall follow the standards in 18.23.030.A-V of the Zoning Code. Any violation of the standards may warrant revocation of the conditional use permit.
4. No additional employees other than the owner(s) are allowed. Any change to this will require a new conditional use permit being consider a major modification to the permit.
5. There are no listed vehicles associated with the business. Any vehicles on the property shall be personal vehicles and not used for commercial/business activities related to the conditional use permit.
6. All outside lighting shall be shielded downward to reduce glare to adjacent properties and not to cause light pollution. Any new lighting will be required to be shielded as to direct the light source downward.
7. Any changes in allocation of square footage designated for the cottage industry, maximum of 2,400 square feet, shall be submitted to the Planning and Development Department for review. Any violation of the area allocated to the business may warrant revocation of the conditional use permit.
8. Hours of operation shall be Monday thru Sunday from 7 a.m. to 6 p.m. Any violation of the hours may warrant revocation of the conditional use permit.
9. Screening on the east side of the property shall follow the site plan including the depicted vegetation; vegetation shall be effective as described in section 18.30.200 of the county code. Manmade screening shall be at least 6 feet in height from grade.
10. The on-site parking (customer/employee parking identified on the site map) area shall always be covered with a dust-free, all-weather surface, with property surface drainage.
11. The area on the site map identified as "Equipment/customer parking" shall maintain at least a 50-foot setback from the property line. This area shall be limited in size to 60-foot by 80-foot in area.
12. No signage is proposed. Any changes to this will require review by the Land Use Manager.
13. Uses authorized under this conditional use permit shall be limited to the cottage industry proposed in the application. However, future changes in the cottage industry located at this site shall require approval from the Land Use Manager and may require approval by the committee at a public hearing.
14. The owner shall allow staff from the Eau Claire County Department of Planning and Development to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
15. The permit is subject to Sections 18.21.080 to 18.21.100 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a conditional use permit expires due to the abandonment of a use.

**Eau Claire County
Conditional Use Permit - County**

Permit Type: Land Use

Town Meeting Date:
April 13, 2021

Permit Number: CUP-0005-21

County Meeting Date:
April 27, 2021

Applicant: owner

Permit Fee: \$1,050.00

Application Date: March 5, 2021

Site Address: 10077 COUNTY LINE RD

Property Owner: JACK RAVEN
10077 COUNTY LINE RD
ELK MOUND, WI 54739-5023

Parcel Number: 1802222710062109000

Municipality: Town of Union

Request:

			<u>Width (ft)</u>	<u>Length (ft)</u>	<u>Height (ft)</u>
Conditional Use	Home Occupation/Home Business/Cottage Industry	After-the-fact Auto/Truck repair and welding/fabrication (County Line Repair LLC).	0.00	0.00	0.00

Applicable Zoning District(s):

A2 - Agriculture-Residential District

Permit Issuer: Jared Grande

Signature: Jared Grande



Eau Claire County
Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:
Accepted By:
Receipt Number:
Town Hearing Date:
Scheduled Hearing Date:

CONDITIONAL USE PERMIT APPLICATION

Property Owner Name: Jack Raven Phone# (715) 828-4002
 Mailing Address: 10077 County Line Rd Elk Mound, WI 54739
 Email Address: JNRaven20@hotmail.com

Agent Name: _____ Phone# _____
 Mailing Address: _____
 Email Address: _____

SITE INFORMATION

Site Address: 10077 County Line Rd Elk Mound, WI 54739
 Property Description: _____ % _____ % Sec. 06 T 27 N, R 10 W, Town of Union
 Zoning District: A2 Code Section(s): _____
 Overlay District: _____
 Check Applicable Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining
 Computer #(s): 022 - 1017 - 07 - 000

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input checked="" type="checkbox"/> Site Plan Drawn to Scale	<input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application	<input type="checkbox"/> Provide \$525.00 application fee (non-refundable), payable to the Eau Claire County Treasurer
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I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature  Date 2/23/2021

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

STANDARDS FOR CONDITIONAL USE PERMITS

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located;
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted;
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided;
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;
- F. Soil conditions are adequate to accommodate the proposed use;
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

- Big Rig Towing & Transport LLC does not operate any business out of this location. Big Rig Towing & Transport LLC has locations in Menomonie, Chippewa Falls, and a main terminal in Eau Claire at 6111 Chuck Lane.

- All employees of Big Rig Towing & Transport LLC have scheduled times that they are "on call." On these times, they are required to have a tow truck with them. I am also on call and have a tow truck at home.

- Big Rig Towing & Transport LLC employees report to work, store uniforms, receive paychecks, etc. at 6111 Chuck Lane. This is not a Big Rig Towing & Transport LLC location.

- Shop portions noted are to be used for County Line Repair LLC.

SUPPLEMENTAL INFORMATION FOR A CONDITIONAL USE PERMIT

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

- Auto/Truck Repair and welding/Fabrication
- County Line Repair LLC

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

Repair/maintain trucks, cars, and trailers

Equipment used in the business activity:

Forklift, skid steer, hand tools, welder, metal cutting saw

Days and hours of operation: By appointment only

Number of employees: 0

Nuisance abatement measures that will be implemented: Fence to be put up in the spring, 6' tall white panel fence

Noise abatement measures: Transplanted pine trees along property line

Vibration abatement measures: N/A

Dust control measures: N/A

Measures to control fumes or odors: N/A

Visual screening measures (plants, fences, walls, etc.)

- Fence to be put up in the spring, 6' tall white panel fence
- Transplanted pine trees along property line

DESCRIPTION OF ANY OTHER FEATURES OR CHARACTERISTICS THAT MAY BE SUBJECT TO ZONING REGULATIONS

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

Steel pole shed, red and burnished slate, brick around office doors/windows, white doors, 18' eaves.

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

N/A

Other features or characteristics (signs, fences, outdoor display areas, etc.)

N/A

SCALED SITE PLAN

Show parcel and building dimensions of all existing and proposed structures

Landscape and screening plans

Show all signs, fences and other features that may be regulated by zoning

Show the well and septic system

Site access, driveway, and nearest road (labeled)

Parking areas with spaces

Drainage plans including the erosion control plan

Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property

The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc.

The location of any equipment that will be used

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

Show floor plan, including attics

Show scaled building elevations

Show color scheme

1" = 60'



Status: Issued

Eau Claire County, Wisconsin

Land Use Permit - County

Application No: UN-0072-20

PIN: 18-022-2-271006-210-9000		Parcel No: 27.10.6.2-1-A & 2-4-A		Application Date: 5/7/2020	
Alternate Number: 022-1017-07-000		Sec 06 Twn 27 Rge 10 Acreage: 9.920 ACRES		Municipality: Town of Union Zoning Dist : A2	
Legal Description: LOT 1 OF CSM V.10 PG.260 (#1924) LYG IN THE FRAC NE-NW & SE-NW CONT 9.92 AC WITH RD R/W OR 9.71 AC WITHOUT RD R/W					
Site Address(es): 10077 COUNTY LINE RD ELK MOUND					
Owner\Applicants Name: Jack W Raven 10077 County Line Rd Elk Mound			Additional Approval Required: Sanitary: No ID: Building: Other:		
Classification: Residential - Accessory New			Fees: Land Use Permit Fee \$ 235.00 Total Fees: 235.00 Rcpt#: 63672 Rcpt Date: May 20, 2020		
Estimated Value: \$180,000.00 Building Details: Size and Height) 5760 sq.ft Height: 23 ft			All Alternate Numbers: 022-1017-07-000		
Overlay District: <input type="checkbox"/> Shoreland <input type="checkbox"/> Flood Plain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining Check Applicable					
Setbacks: Front Back Left Right Water Front1 Front2 Comments: Residential - Access 280 900 100 50 0					
Additional Information: 60X96 POLE SHED PRIVATE GARAGE WITH 4/12 ROOF PITCH. PER CONVERSATION BETWEEN STAFF AND JACK RAVEN 5/7/2020 STRUCTURE WILL NOT BE USED FOR BUSINESS OR AGRICULTURAL USE, BUT WILL BE PLACED 50 FEET FROM PROPERTY LINE FOR FUTURE OPORTUNITIES, AND RESALE. Permit (Approved/Denied): Issued					
I, the undersigned, agree to exercise this permit in accordance with all applicable Eau Claire County Codes and to allow the Planning and Development Department access to the property for inspection of the item(s) covered by this permit.			A sketch shall be submitted by applicant showing the location of all proposed structures, water supply, roads, sanitary systems, and all water bodies. All distances shall be either to scale or indicated on the sketch.		
_____ Jack W Raven Signature of Owner or Agent Phone Number: Date Issued: 5/20/2020 Land Use Checked: _____			_____ Ben Bublitz Zoning Administrator / Issuing Agent 721 Oxford Ave Eau Claire, WI 54703 715-839-4741		
Restrictive Covenants may possibly be in effect. You are advised to check prior to construction. Issuance of this permit does not release you from complying with those covenants if any apply.					



Eau Claire County
Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:
Accepted By:
Application Number: <u>UV-0072-20</u>

RECEIVED

MAY 07 2020

LAND USE PERMIT APPLICATION

Property Owner Name: <u>Jessa Olson (Jack Raven)</u>	Phone# <u>715-563-5032</u>
Mailing Address: <u>10077 County Line Rd</u>	<u>Jack - 715-828-4002</u>
Email Address: <u>sjw Raven 20 @ HotMail .com</u>	<u>Raven</u>

Agent Name:	Phone#
Mailing Address:	
Email Address:	

SITE INFORMATION

Project Description: Please provide a brief description of the project.
pole shed - to be finished off
- Personal use and storage per phone conversation 5/7/2020
5760 sq. ft.

Site Address: <u>10077 County Line Rd</u>	Town of: <u>union</u>
Zoning District: <u>A2</u>	Measured Setbacks: <u>280</u> Front <u>900</u> Rear <u>100</u> Left <u>50</u> Right
Overlay District: <input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport	<input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining
Computer #(s): <u>022-1017-07-000</u>	

GENERAL APPLICATION REQUIREMENTS

<input checked="" type="checkbox"/> Completed Land Use Checklist	<input checked="" type="checkbox"/> Site Plan Drawn to Scale	<input checked="" type="checkbox"/> Estimated Cost of Project: \$ <u>170,000.00</u>
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I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of verifying that the standards of the Zoning Code are met. Providing incorrect information may cause a delay in the permit process and/or denial. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature [Signature] Date 04/21/2020

Make checks payable to the Eau Claire County Treasurer. Land use permits are valid for 6 months to start construction. After 2 years from date of issuance, a land use permit becomes null and void unless construction has been completed.

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

LAND USE PERMIT APPLICATION CHECKLIST

General Application Requirements

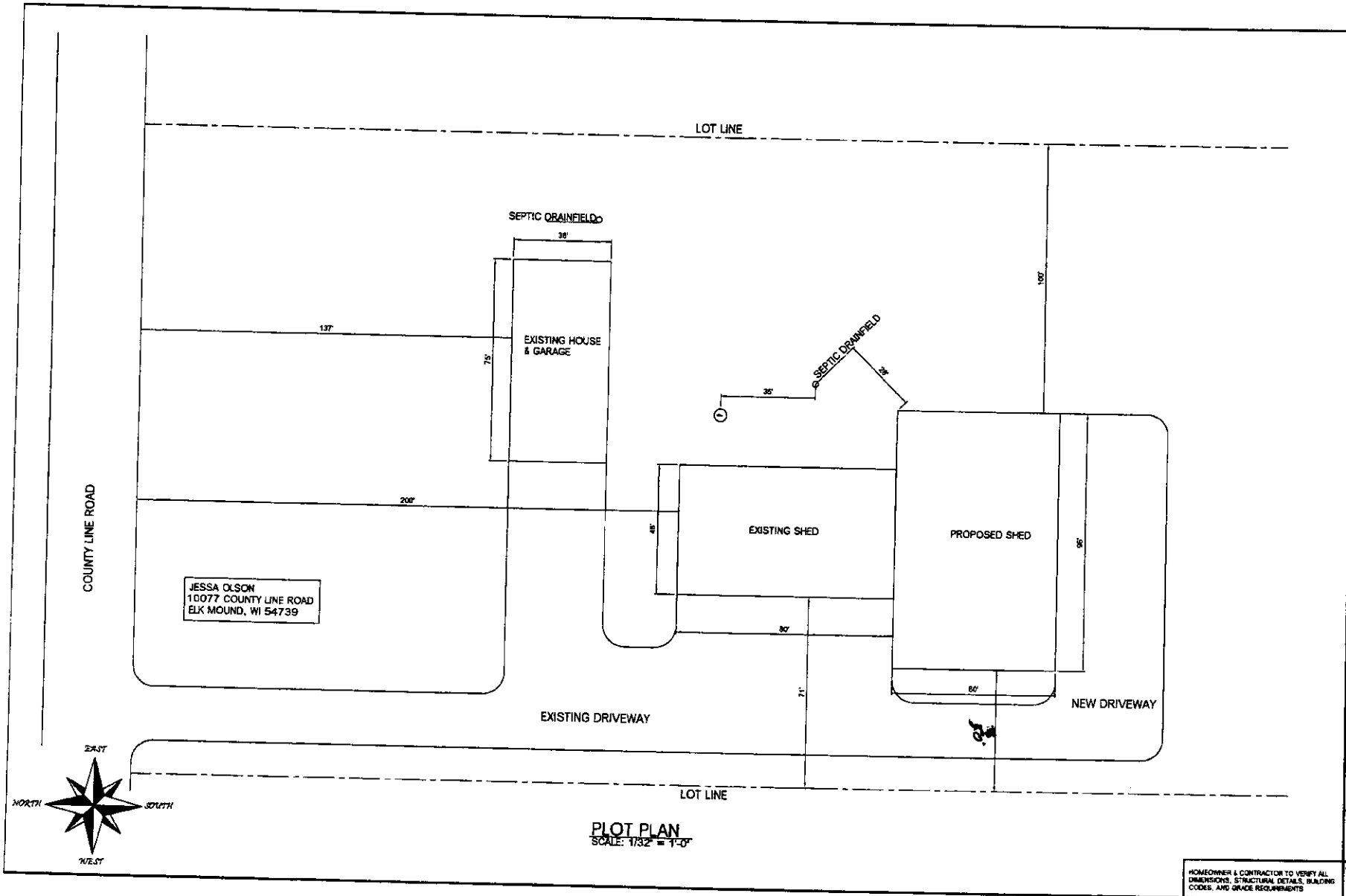
- Completed Land Use Application / Checklist
 - Site plan, drawn to scale. **(see Site Plan Detail section below)**
 - Access permit approval, if applicable
 - Sanitary permit or public sewer authorization
 - Well or public water authorization
 - A copy of the recorded CSM or copy of lot from the recorded plat, if applicable
 - Erosion control / storm water management from Land Conservation
 - Building elevation, floor plans (including attics), and color scheme
- Required for all non-agricultural accessory structures**

Site Plan Detail

- Site plan drawn to scale with measured setbacks and improvements (Measured from property line to structure) **(max size 11" x 17")**
- Show lot dimensions (Copy of CSM or Lot in the subdivision plat)
- Location of sanitary system
- Location of navigable waters (75 foot setback required from OWHM)
- Location of wetlands
- Location of the floodplain
- Identify topographic features (e.g. steep slopes, vegetation cover, agricultural fields, etc.)
- Show recorded easements
- Identify unique property conditions

General Notes

- Town of Seymour, Union, and Ludington issue UDC permits
- All electrical work will require an electrical permit



CENTRAL BUILDERS
Supply
401 N. LINCOLN ST.
THORP, WI 54771
PH - 715-665-5999
FAX - 715-665-5956

CONTRACTOR
J.D. CARPENTRY

PROJECT
JACK 60X96X18 SHED

DATE	REVISION

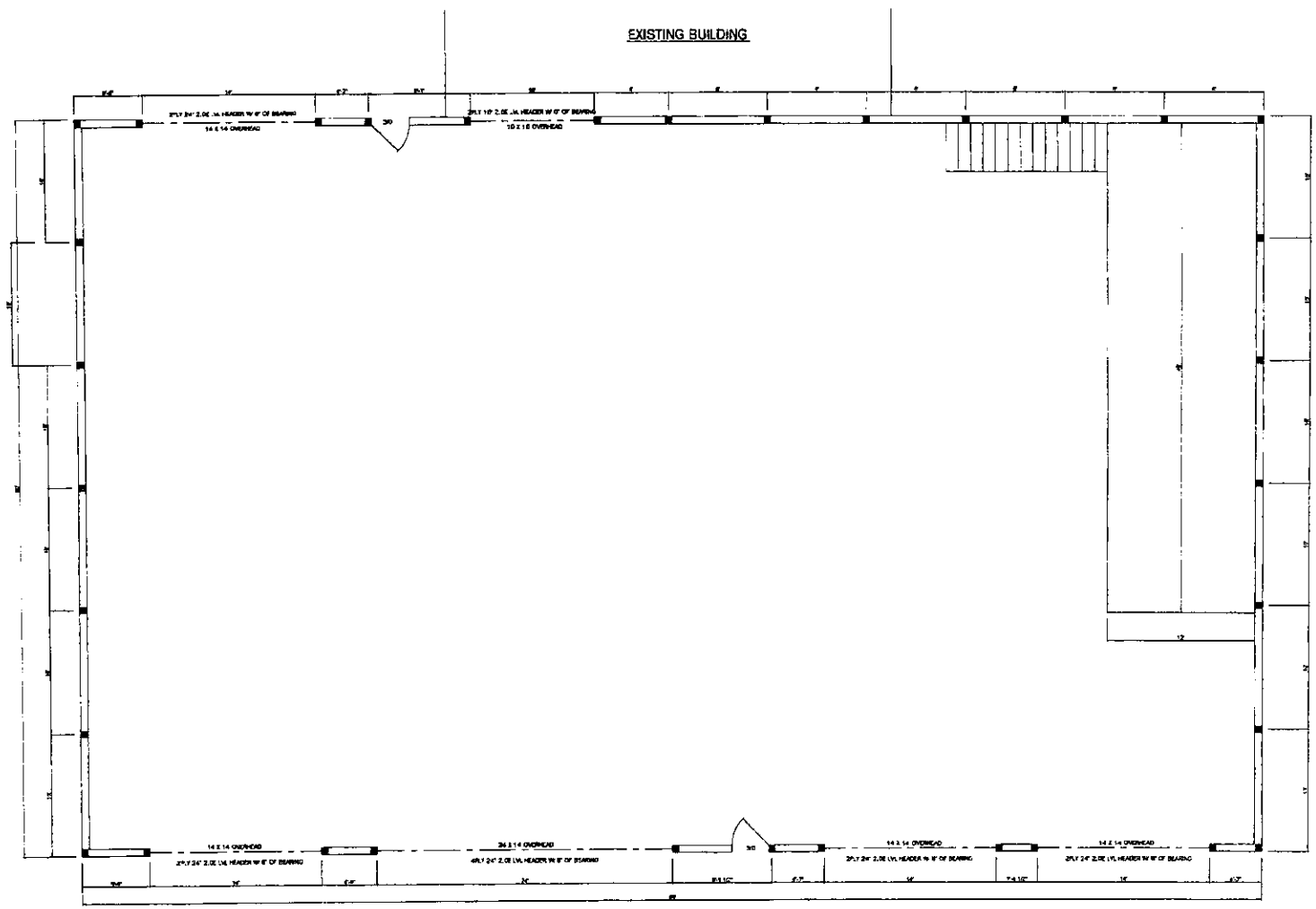
DATE
APRIL 27, 2020

DESIGNER
MATTHEW KEMPT

SHEET NUMBER
S1

HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS

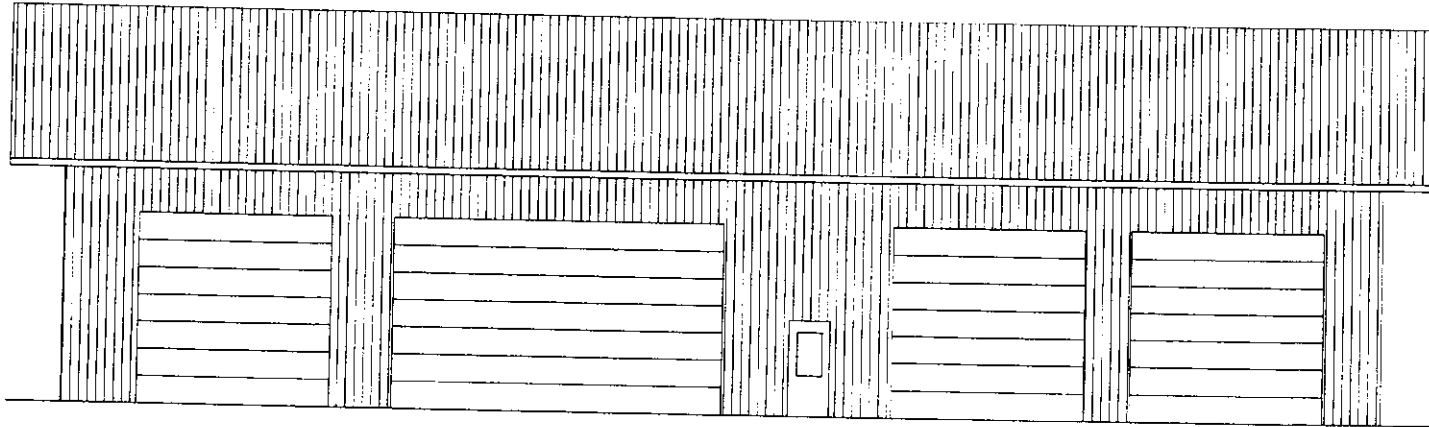
PDF created with pdfFactory Pro trial version



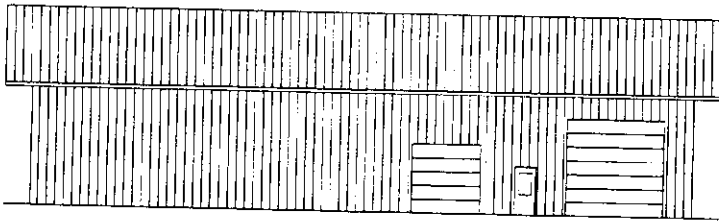
FLOOR PLAN
SCALE: 1/4" = 1'-0"

HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS

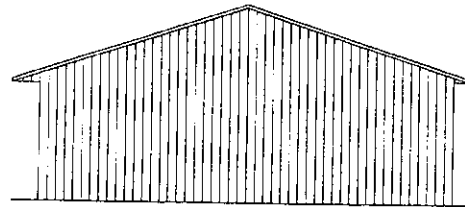
CENTRAL BUILDERS Supply 400 N. LINCOLN ST. THORSP, WI 54771 PH. 715-665-8888 FAX. 715-665-8886	
CONTRACTOR	J.D. CARPENTRY
PROJECT:	JACK 60X8X18 SHED
REVISION	
DATE:	APRIL 27, 2020
DESIGNER:	MATTHEW KEMPF
SHEET NUMBER:	A1



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST/WEST ELEVATION
SCALE: 1/4" = 1'-0"

CENTRAL BUILDERS
—Supply—
401 N. LINCOLN ST.
THORP, WI 54771
PH - 715-669-5898
FAX - 715-669-5898

CONTRACTOR

J.D. CARPENTRY

PROJECT:

JACK 60X96X18 SHED

REVISION

DATE:

APRIL 27, 2020

DESIGNER:

MATTHEW KEMPF

SHEET NUMBER:

A2

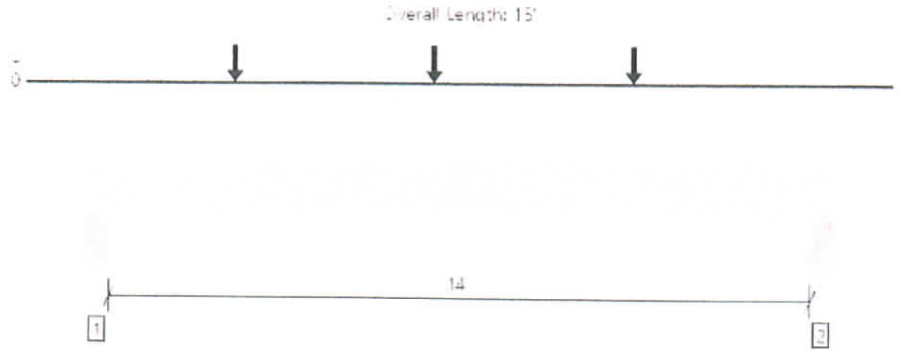
HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS

Level			
Member Name	Results	Current Solution	Comments
14' - 2'OH - 1	Passed	2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL	
24'	Passed	4 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL	
14' - 4'OH - 1	Passed	3 piece(s) 1 3/4" x 18" 2.0E Microllam® LVL	
14' - 4'OH - 2	Passed	2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL	
14' - 4'OH - 3	Passed	2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL	
10' - 2'OH	Passed	2 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL	

ForteWEB Software Operator	Job Notes
Matthew Kempf Central Builder's Supply (715) 773-8335 mattk@centralbuildersonline.com	



Level, 14' - 2'OH - 1
 2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	12384 @ 4 1/2"	15225 (6.00")	Passed (81%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	12323 @ 2' 6"	18354	Passed (67%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	51044 @ 7'	76188	Passed (67%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.193 @ 7'	0.475	Passed (L/888)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.289 @ 7'	0.712	Passed (L/591)	--	1.0 D + 1.0 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 4' 6" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 15' o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Trimmer - SPF	6.00"	6.00"	4.88"	4165	963	8219	13347	None
2 - Trimmer - SPF	6.00"	6.00"	4.25"	3643	837	7141	11621	None

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 15'	N/A	24.5	--	--	
1 - Point (lb)	3'	N/A	2480	600	5120	Default Load
2 - Point (lb)	7'	N/A	2480	600	5120	Default Load
3 - Point (lb)	11'	N/A	2480	600	5120	Default Load

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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

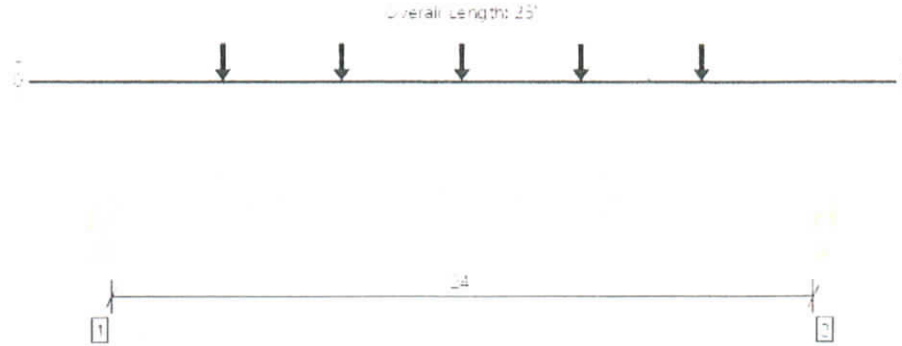
ForteWEB Software Operator	Job Notes
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4/27/2020 4:53:15 PM UTC
 ForteWEB v2.4, Engine: V8.0.1.5, Data: V7.3.2.0

File Name: Jack Shed

Level, 24'
4 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	20586 @ 4 1/2"	30450 (6.00")	Passed (68%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	20463 @ 2' 6"	36708	Passed (56%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	149777 @ 12' 6"	152377	Passed (98%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.707 @ 12' 6"	0.808	Passed (L/411)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	1.064 @ 12' 6"	1.212	Passed (L/273)	--	1.0 D + 1.0 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 1' 5" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 25' o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Trimmer - SPF	6.00"	6.00"	4.06"	6986	1500	13600	22086	None
2 - Trimmer - SPF	6.00"	6.00"	4.05"	6959	1500	13600	22059	None

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 25'	N/A	49.0	--	--	
1 - Point (lb)	4' 6"	N/A	2560	600	5440	Default Load
2 - Point (lb)	8' 6"	N/A	2560	600	5440	Default Load
3 - Point (lb)	12' 6"	N/A	2560	600	5440	Default Load
4 - Point (lb)	16' 6"	N/A	2480	600	5440	Default Load
5 - Point (lb)	20' 6"	N/A	2560	600	5440	Default Load

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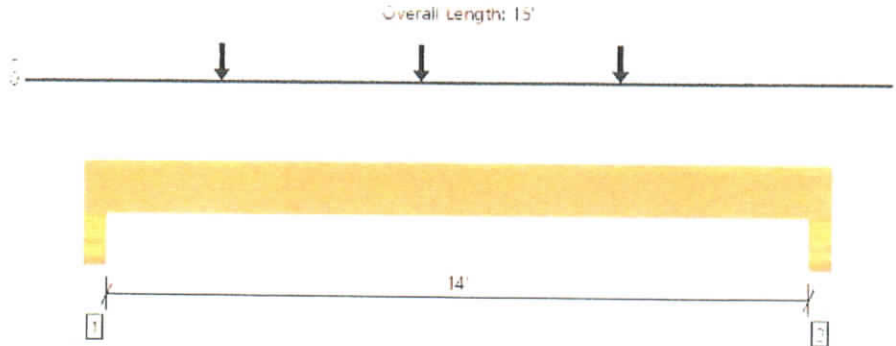


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File Name: Jack Shed

Page 3 / 7

Level, 14' - 4'OH - 3
2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	13447 @ 4 1/2"	15225 (6.00")	Passed (88%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	13386 @ 2' 6"	18354	Passed (73%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	53168 @ 6' 9"	76188	Passed (70%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.202 @ 6' 9"	0.475	Passed (L/847)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.301 @ 7' 5 7/16"	0.712	Passed (L/569)	--	1.0 D + 1.0 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 4' 4" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 15' o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Trimmer - SPF	6.00"	6.00"	5.30"	4428	995	9019	14442	None
2 - Trimmer - SPF	6.00"	6.00"	4.30"	3620	805	7301	11726	None

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 15'	N/A	24.5	--	--	
1 - Point (lb)	2' 9"	N/A	2560	600	5440	Default Load
2 - Point (lb)	6' 9"	N/A	2560	600	5440	Default Load
3 - Point (lb)	10' 9"	N/A	2560	600	5440	Default Load

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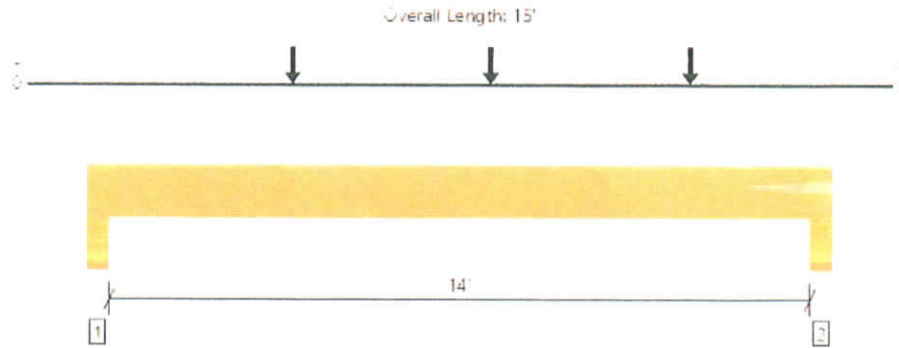
ForteWEB Software Operator	Job Notes
Matthew Kempf Central Builder's Supply (715) 773-8335 mattk@centralbuilderonline.com	



4/27/2020 4:53:15 PM UTC
 ForteWEB v2.4, Engine: V8.0.1.5, Data: V7.3.2.0

File Name: Jack Shed

Level, 14' - 4'OH - 2
2 piece(s) 1 3/4" x 24" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDf	Load: Combination (Pattern)
Member Reaction (lbs)	13236 @ 14' 7 1/2"	15225 (6.00")	Passed (87%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	13175 @ 12' 6"	18354	Passed (72%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	53459 @ 8' 1 1/2"	76188	Passed (70%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.203 @ 8' 1 1/2"	0.475	Passed (L/841)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.303 @ 8' 1 1/2"	0.712	Passed (L/565)	--	1.0 D + 1.0 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 4' 3" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 15' o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Trimmer - SPF	6.00"	6.00"	4.39"	3687	821	7444	11952	None
2 - Trimmer - SPF	6.00"	6.00"	5.22"	4361	979	8876	14216	None

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 15'	N/A	24.5	--	--	
1 - Point (lb)	4' 1 1/2"	N/A	2560	600	5440	Default Load
2 - Point (lb)	8' 1 1/2"	N/A	2560	600	5440	Default Load
3 - Point (lb)	12' 1 1/2"	N/A	2560	600	5440	Default Load

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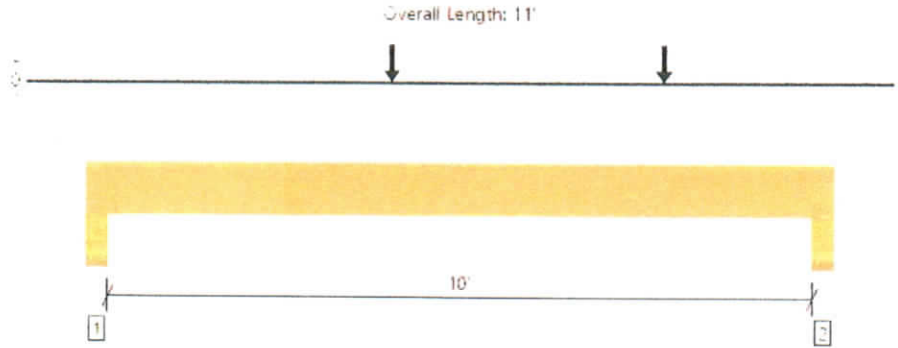
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FortewEB Software Operator	Job Notes
Matthew Kempf Central Builder's Supply (715) 773-8335 mattk@centralbuildersonline.com	



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 File Name: Jack Shed

Level, 10' - 2'OH
2 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	9162 @ 10' 7 1/2"	15225 (6.00")	Passed (60%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	9138 @ 9' 4"	10707	Passed (85%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	25413 @ 4' 6"	27897	Passed (91%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.228 @ 5' 6 5/8"	0.342	Passed (L/540)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.341 @ 5' 6 5/8"	0.512	Passed (L/361)	--	1.0 D + 1.0 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 4' 2" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 11' o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Trimmer - SPF	6.00"	6.00"	2.44"	2075	483	4121	6679	None
2 - Trimmer - SPF	6.00"	6.00"	3.61"	3043	717	6119	9879	None

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 11'	N/A	14.3	--	--	
1 - Point (lb)	4' 6"	N/A	2480	600	5120	Default Load
2 - Point (lb)	8' 6"	N/A	2480	600	5120	Default Load

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ForteWEB Software Operator	Job Notes
Matthew Kempf Central Builder's Supply (715) 773-8335 mattk@centralbuilderonline.com	



Eau Claire County

LCD Permit

EC-08-20

STORM WATER & EROSION CONTROL

ISSUED TO: **Jack Raven**

SITE NAME: **60'x96' Pole Shed**

SEC. 6 T. 27 N., R. 10 W.

TOWN OF: **Union**

COMPUTER # **022101707000**

ADDRESS: **10077 County Line Rd**

STORM WATER

EROSION CONTROL

DATE ISSUED: **05-18-2020**

BY: **Chad Berge**

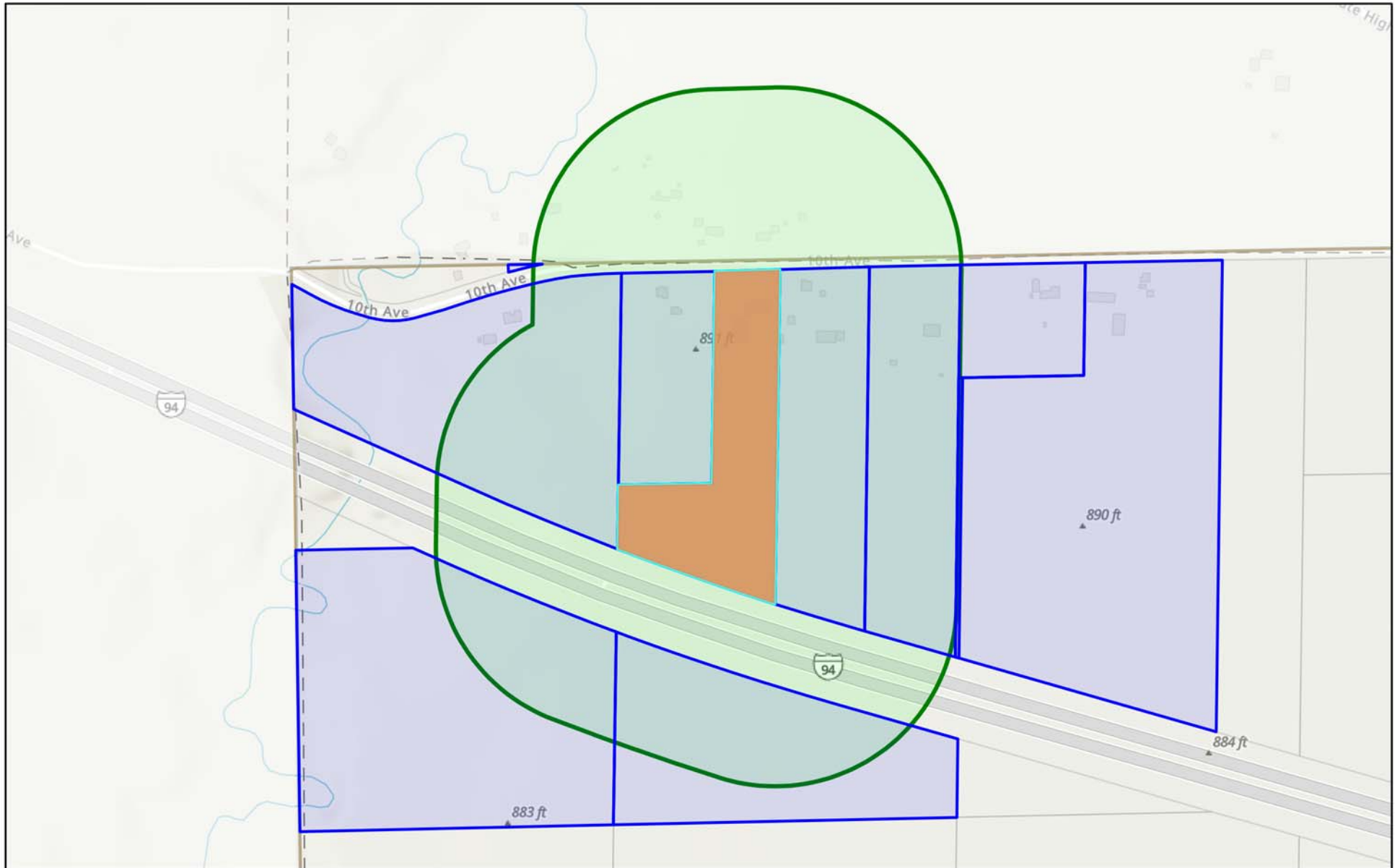
EXPIRATION DATE: **05-18-2022**

Eau Claire County Land Conservation Division
721 Oxford Ave, Suite 3344, Eau Claire, WI 54703 (715-839-6226)




NOTE: Changes in the plans or specifications shall not be made without approval of the Land Conservation Department. This permit may be revoked if any of the information given in the Application is found to have been misrepresented. This permit will expire in 2 years of date issued.

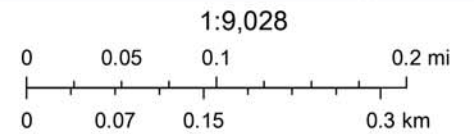
MUST BE POSTED ON SITE

Public Notification



3/9/2021, 2:34:41 PM

-  County Boundary
-  Tax Parcel
-  Section



Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, Esri,

FirstName LastName	Address	City State Zip
WANGMENG HER	9725 COUNTY LINE RD	ELK MOUND WI 54739-5001
JACK RAVEN	10077 COUNTY LINE RD	ELK MOUND WI 54739-5023
TIMM TRUST	10209 COUNTY LINE RD	ELK MOUND WI 54739-5000
RICHARD A & JOAN K SOKUP	1222 10TH AVE	ELK MOUND WI 54739-5022
CHARLESTON W YANG	9709 COUNTY LINE ROAD	ELK MOUND WI 54739-5001
JAMES STOCKDILL	9909 COUNTY LINE RD	ELK MOUND WI 54739-5026
MARK (SEUSS) SUESS	10123 COUNTY LINE RD	ELK MOUND WI 54739-5024
JASON T & KIRSTEN S WINTER	10009 COUNTY LINE RD	ELK MOUND WI 54739-5023



EAU CLAIRE COUNTY PLANNING STAFF RECOMMENDATION

CONDITIONAL USE PERMIT NUMBER: CUP-0007-21

COMPUTER NUMBERS: 024-2078-05-000

PUBLIC HEARING DATE: April 27, 2021

STAFF CONTACT: Jared Grande, Land Use Manager

OWNER: Jamie and Mariruth Guibord, 3412 London Rd, Eau Claire, WI 54701

AGENT: Brooks Home Renovations – Jeff Hoepner

REQUEST: Cumulative area of all accessory structures to exceed 1,200 square feet (1,600 total square feet requested)

LOCATION: 3412 London Rd, Eau Claire, WI 54701

LEGAL DESCRIPTION: LOT 29 BLAKELEYS ADDITION TOWN OF WASHINGTON, Section 34, T27N-R09W, Town of Washington, Eau Claire County

SUMMARY

Cumulative area of all accessory structures to exceed 1,200 square feet (1,600 total square feet requested) in the R-1-M District.

BACKGROUND

The applicant is requesting to relocate an existing 20-foot by 20-foot detached garage and add onto it with a new 30-foot by 40-foot addition; total square feet of the proposed detached garage would be 1,600 square feet. The use would be for person storage of vehicles, boats, etc. The proposed south side yard setback is 5 feet (minimum side yard setback is 5 feet), staff would require the property line identified by the survey markers being found; if survey markers are not able to be located, the property line should be surveyed.

The application materials include site plan, building elevations, and floor plan. The plans reveal that the side wall height will be 14 feet with a mean height of 18 feet (the mean maximum height per County Code is 20 feet).

REQUEST CHARACTERISTICS:

- Lot has an existing single-family home with 20-foot by 20-foot detached garage.
- There appears to be no attached garage on the existing single-family home.

CURRENT ZONING: The purpose of the R-1-M District is to, “provide an area for single-family residences at relatively high densities and is served by public water and sewage disposal facilities.”

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	R-1-M	Residential-Single Family
West	R-1-M	Residential-Single Family
South	R-1-M	Residential-Single Family
East	C-2	Commercial

LAND USE PLANS: The County Land Use Plan, adopted in April of 2010, includes this property in an Urban Mixed Use area.

Urban Mixed (UM)

Intent and Description: The primary intent of this classification is to identify areas suitable for a broader range of commercial, institutional, recreational, and residential uses, which might be served by public services within the next 20 years. This classification is reserved for those areas that are immediately adjacent to the Cities of Eau Claire and Altoona. Land within the classification includes retail businesses and pre-existing higher density residential developments. The existing land use pattern, transportation infrastructure, and availability of sanitary sewer make these areas suitable for mixed-use neighborhoods with higher density residential development than what is permitted under the Rural Residential classification. Higher density development within these areas can require the use of public sanitary sewer or group septic systems. Areas included in UM could potentially represent prime candidates for “receiving areas” under a countywide Transfer of Development Rights program.

APPLICABLE ZONING REGULATIONS

Section 18.01.010 Purpose. This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Section 18.02.020 A.184.a Definition of an Accessory Structure. An “accessory structure” means a subordinate structure which is clearly and customarily incidental to and located on the same lot as a principal structure except that mobile/manufactured homes are not allowed as storage structures.

Section 18.07.001 Purpose. The R-H rural homes district is established to provide for suburban large-lot development with individual on-site water and sewage disposal facilities.

Section 18.07.040 B.2. Maximum Height for an Accessory Structure in the RH District. The maximum height for the eaves of an accessory structure is 14 feet, and the maximum height for the structure is 20 feet. Maximum height is measured as the height halfway between the peak of the roof and the eaves (mean height).

Section 18.07.045 C. Accessory structures in the RH, Rural Homes District. A conditional use permit is required to for accessory structures in excess of 1,200 square feet in the RH District and/or where the cumulative square footage of accessory structures is in excess of 1,200 square feet. The regulations also require that the appearance of an accessory structure shall be compatible with the design, style, and appearance of the principal structure on the property.

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses: 1) the use must be in conformance with the purpose of the zoning district it is located in; 2) the use will not be injurious to the use and enjoyment of

other property in the immediate vicinity; 3) adequate utilities, access, drainage and other necessary facilities have been or are provided; 4) adequate off-street parking is provided; 5) adequate measures have been taken to prevent or control offensive odors, fumes, dust, noise and vibration so these will not constitute a nuisance, and lighting is controlled so that it does not result in disturbance to neighboring properties; 6) soil conditions are adequate to support the use; 7) access does not pose traffic congestion or hazards.

Section 18.30.120 Accessory structure in the absence of a principal use. The placement of a private garage in the absence of a principal residence is allowed under the following conditions: A. A residence will be constructed on the property within 2 years. B. The use of the structure is permitted as an accessory use such as storage of lumber and supplies for the construction of the residence, motor vehicles, or maintenance machinery for the lot. C. Sanitary and building permits have been issued.

ANALYSIS: The following is an analysis of the request based upon the standards for approval of conditional use permits:

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses:

It appears that findings can be made that the request meets the standards for accessory structures in residential districts, that the structure will be subordinate to the residence on the property, and that it will meet all the standards for conditional use permits. The exterior of the structure is required to be compatible with the residence on the property. This request does not appear to be injurious to the use and enjoyment of other properties in the immediate vicinity. The lot is large enough to accommodate the additional accessory structure and the structure will meet minimum setbacks required in the R-H district. It does not appear that the use of the structure will result in any nuisance factors such as noise, dust, or fumes.

TOWN BOARD ACTION: The Town Board for the Town of Washington will meet on April 15 to hold a hearing on conditional use request.

STAFF CONCLUSIONS AND RECOMMENDATION: Staff concludes that the request for a conditional use permit for an accessory structure in excess of 1,200 square feet (1,600 total square feet) will meet all the standards for accessory structures in the R-1-M District, standards for approval of conditional use permits, will be consistent with the purpose of the zoning code, and adheres to 2017 Wisconsin Act 67 and Wis. Stat. 59.69(5e).

Staff recommends approval of the conditional use permit with the following conditions:

1. The site plan, floor plan, and elevation drawings submitted with the application shall be attached to and made a part of the permit. The structure shall be constructed in accord with the drawings submitted and located on the property as shown on the site plan.
2. The appearance of the accessory structure must be compatible with the design, style, and appearance of the principal structure on the property, in accord with 18.07.045 C. of the Eau Claire County Code.
3. Prior to issuance of the land use permit, staff shall verify the proposed 5-foot side yard setback. The property line shall be identified by existing monuments place by a surveyor; if survey markers are not able to be located, the property line shall be surveyed.
4. Any outside lighting shall be shielded in a downward manner to reduce lighting pollution.
5. The structure shall comply with the height standards for accessory structures, including the limit of eave height of 14 feet, and maximum mean height of 20 feet.
6. Prior to construction, the applicant shall obtain all necessary permits including but not limited to a land use permit from the Department of Planning and Development.
7. Use of the structure shall be limited to personal storage and shall not contain any living areas.

8. The building cannot be used for commercial or manufacturing purposes.
9. The applicant shall notify the Land Use Manager upon completion of the accessory structure so that staff can verify compliance with the terms of this approval.
10. The Land Use Manager can approve minor alterations from the terms of the permit. A major change requires the approval of the committee at a public hearing.
11. The owners shall allow staff from the Department to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
12. The permit is subject to Sections 18.21.080 to 18.21.100 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a conditional use permit expires due to the abandonment of a use.



Department of Planning and Development
Eau Claire County Courthouse
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703
715-839-4741

Application Accepted:	03/26/2021
Accepted By:	Jared Grande
Receipt Number:	
Town Hearing Date:	
Scheduled Hearing Date:	04/27/2021
Application No:	CUP-0007-21
Application Status:	Pending

Conditional Use Permit Request

Owner/Applicant Name(s):

Owner: JAMIE L & MARIRUTH E GUIBORD

Applicant: Brooks Home Renovatoins

Telephone: 715-563-0110

Email: j.hoepner@brookshomerenovations.com

Site Address(es):

3412 LONDON RD

Property Description: Sec 34 Twn 27 Rge 09

Town of Washington

Zoning District(s):

R1M - Single-Family Residential District

Lot Area(s) - Acres:

0.00

PIN

1802422709342202050

Legal (partial)

LOT 29 BLAKELEYS ADDITION TOWN OF WASHINGTON

Request

Type: Cumulative accessory structures in excess of 1,200 sq./ft.

Description: new 40 x 30 detached garage attached to existing 20 x 20 garage (1,600 total square feet).

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Office Use Only

Date Application Accepted:	3/25/21
Accepted By:	Jared Grande
Receipt Number:	
Town Hearing Date:	
Scheduled Hearing Date:	

CONDITIONAL USE PERMIT APPLICATION

Property Owner Name:	JAMIE GUIBORD	Phone#	715-563-4083
Mailing Address:	3412 LONDON ROAD		
Email Address:	jguibord@service-first.com		

Agent Name:	BROOKS HOME RENOVATIONS	Phone#	715-563-0110
Mailing Address:	40 1/2 South BARSTON ST., EAU CLAIRE		
Email Address:	j.hoepner@brookshomerenovations.com		

SITE INFORMATION

Site Address:	3412 LONDON ROAD, EAU CLAIRE		
Property Description:	NW 1/4 NW 1/4 Sec. 34, T 27 N, R 9 W, Town of 024 WASHINGTON		
Zoning District:	R1M	Code Section(s):	18-09-045C
Overlay District:	<input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining		
PIN #(s):	0 - 2 - 4 - 2 - 0 7 - 8 - 0 - 50 - 00		

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input checked="" type="checkbox"/> Site Plan Drawn to Scale	<input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application JACKIE VOLO	<input checked="" type="checkbox"/> Provide \$525.00 application fee (non-refundable), payable to the Eau Claire County Treasurer. Forms of acceptable payment are check or online
---	--	---	--

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Jeffrey D. Hoepner Date 3-23-2021
BROOKS HOME RENOVATIONS

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence, and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

STANDARDS FOR CONDITIONAL USE PERMITS

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located.
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted.
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;
- F. Soil conditions are adequate to accommodate the proposed use.
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

SUPPLEMENTAL INFORMATION FOR A CONDITIONAL USE PERMIT

In order to process your application as quickly as possible, please fill in all the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

PERSONAL USE GARAGE FOR STORING VEHICLES, BOATS, ETC

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

NA

Equipment used in the business activity:

NA

Days and hours of operation:

Number of employees:

Nuisance abatement measures that will be implemented:

Noise abatement measures:

Vibration abatement measures:

Dust control measures:

Measures to control fumes or odors:

Visual screening measures (plants, fences, walls, etc.)

DESCRIPTION OF ANY OTHER FEATURES OR CHARACTERISTICS THAT MAY BE SUBJECT TO ZONING REGULATIONS

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

14' SIDEWALLS ON 30x40 GARAGE 8' SIDEWALLS ON 20x20 GARAGE
VINYL SIDING
ARCHITECTURAL SHINGLES

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

APPROXIMATELY A 12" LIFT FROM THE EXISTING
GARAGE PLACEMENT TO ALLOW FOR PROPER DRAINAGE

Other features or characteristics (signs, fences, outdoor display areas, etc.)

SCALED SITE PLAN

- | | |
|--|---|
| <input checked="" type="checkbox"/> Show parcel and building dimensions of all existing and proposed structures | <input checked="" type="checkbox"/> Landscape and screening plans |
| <input checked="" type="checkbox"/> Show all signs, fences and other features that may be regulated by zoning | <input type="checkbox"/> Show the well and septic system NA |
| <input checked="" type="checkbox"/> Site access, driveway, and nearest road (labeled) | <input type="checkbox"/> Parking areas with spaces |
| <input checked="" type="checkbox"/> Drainage plans including the erosion control plan | <input type="checkbox"/> Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property |
| <input checked="" type="checkbox"/> The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc. | |
| <input checked="" type="checkbox"/> The location of any equipment that will be used | |

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

- | |
|---|
| <input checked="" type="checkbox"/> Show floor plan, including attics |
| <input checked="" type="checkbox"/> Show scaled building elevations |
| <input type="checkbox"/> Show color scheme
WHITE BUILDING / BLACK ROOF |

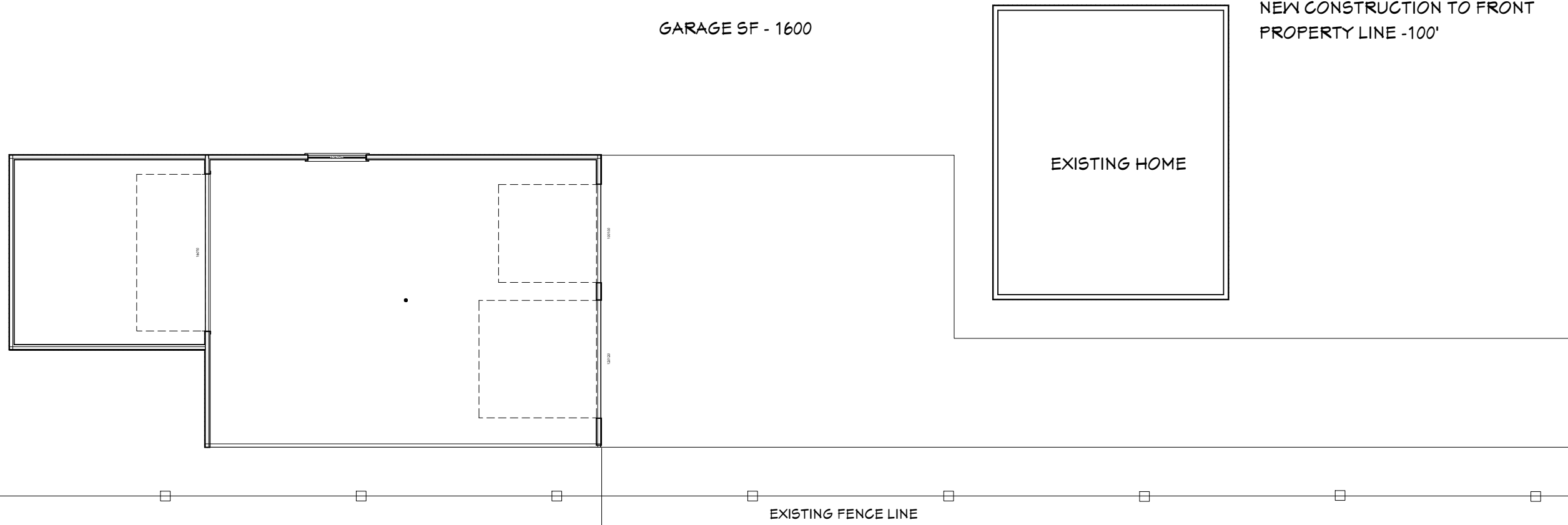
RECEIVED
04/12/2021

31' SIDEYARD SETBACK (R)
5' SIDEYARD SETBACK (L)
105' +/- REARYARD SETBACK
240' +/- FRONTYARD SETBACK

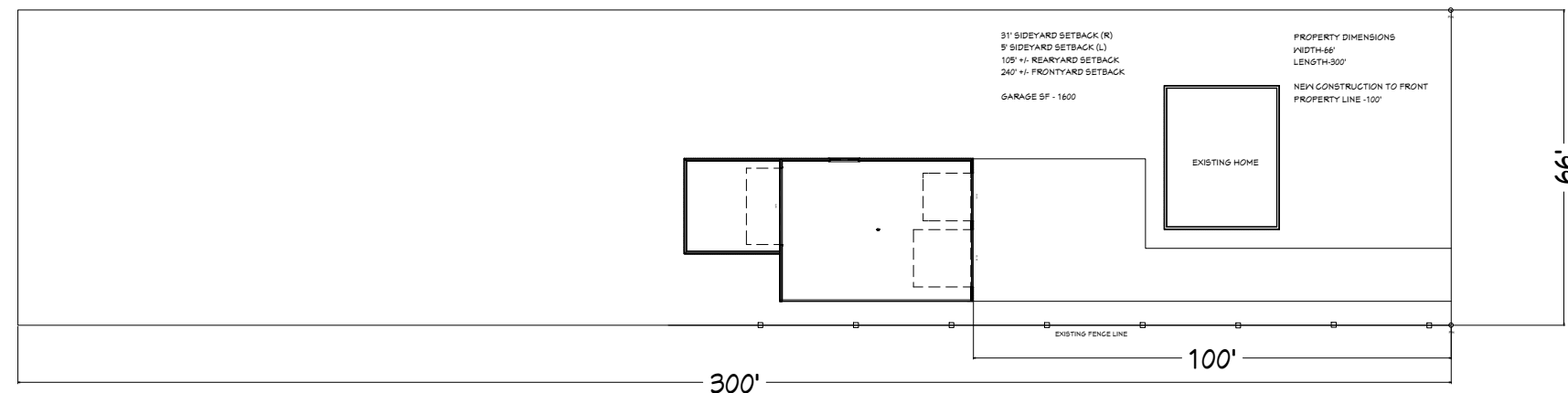
PROPERTY DIMENSIONS
WIDTH-66'
LENGTH-300'

GARAGE SF - 1600

NEW CONSTRUCTION TO FRONT
PROPERTY LINE -100'



EXISTING FENCE LINE
SITE PLAN



PROPERTY LINE

REVISION TABLE	
NUMBER	DATE



Guilford New Construction
Property Site Plans

DRAWINGS PROVIDED BY:

DATE:

4/12/21

SCALE:

NTS

SHEET:

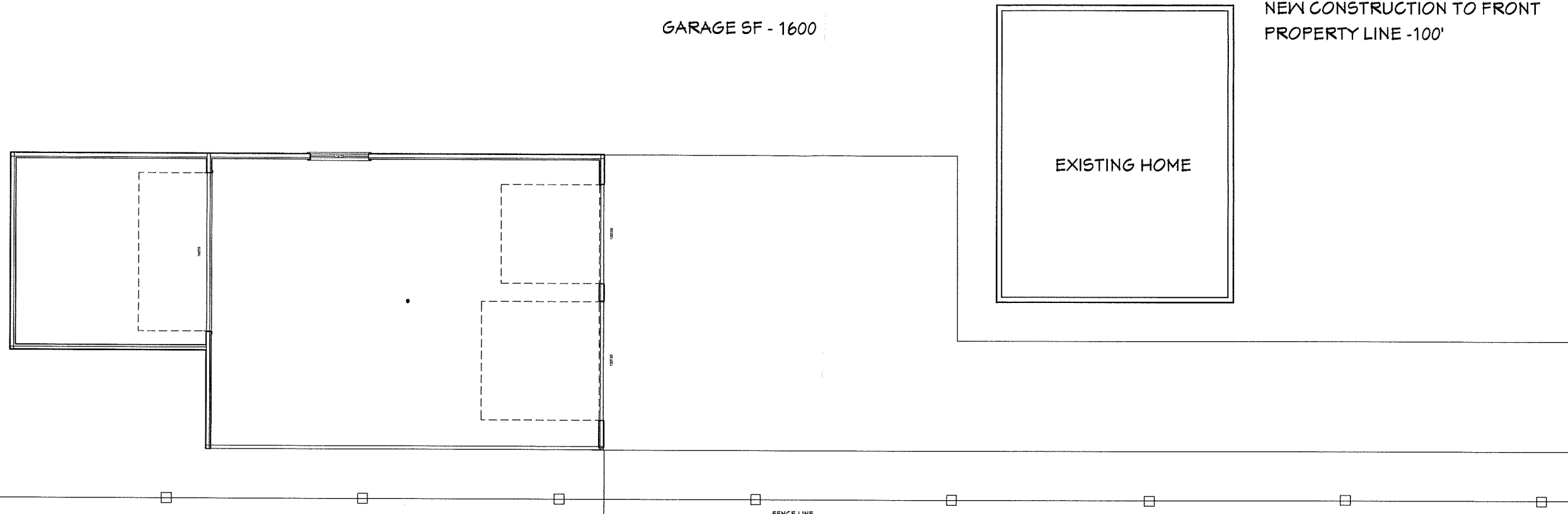
P-1

20' SIDEYARD SETBACK (R)
 5' SIDEYARD SETBACK (L)
 105' +/- REARYARD SETBACK
 240' +/- FRONTYARD SETBACK

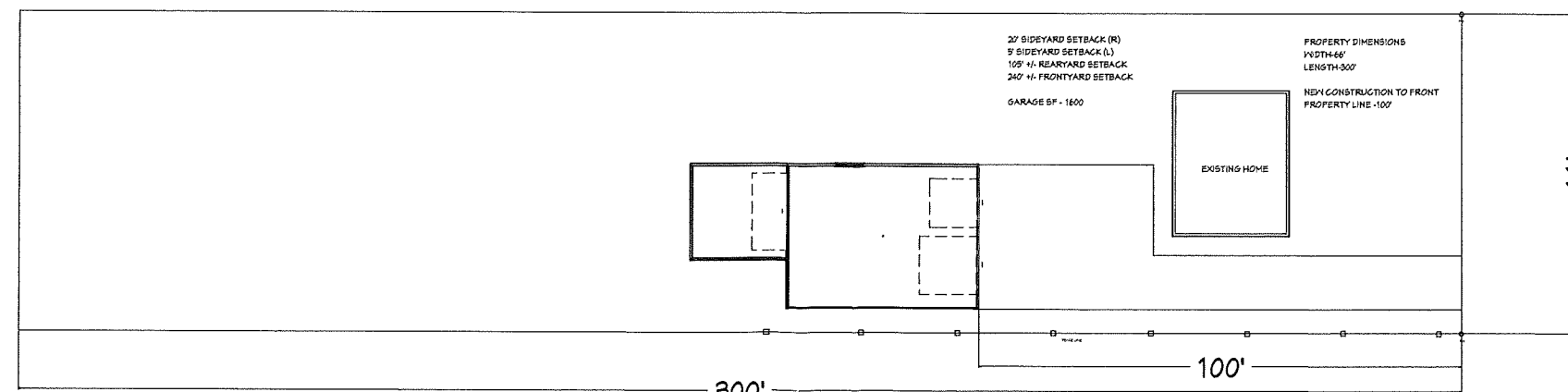
GARAGE SF - 1600

PROPERTY DIMENSIONS
 WIDTH-66'
 LENGTH-300'

NEW CONSTRUCTION TO FRONT
 PROPERTY LINE -100'

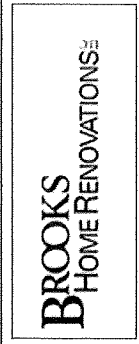


SITE PLAN



PROPERTY LINE

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



Guibord New Construction
 Property Site Plans

DRAWINGS PROVIDED BY:

DATE:

3/22/21

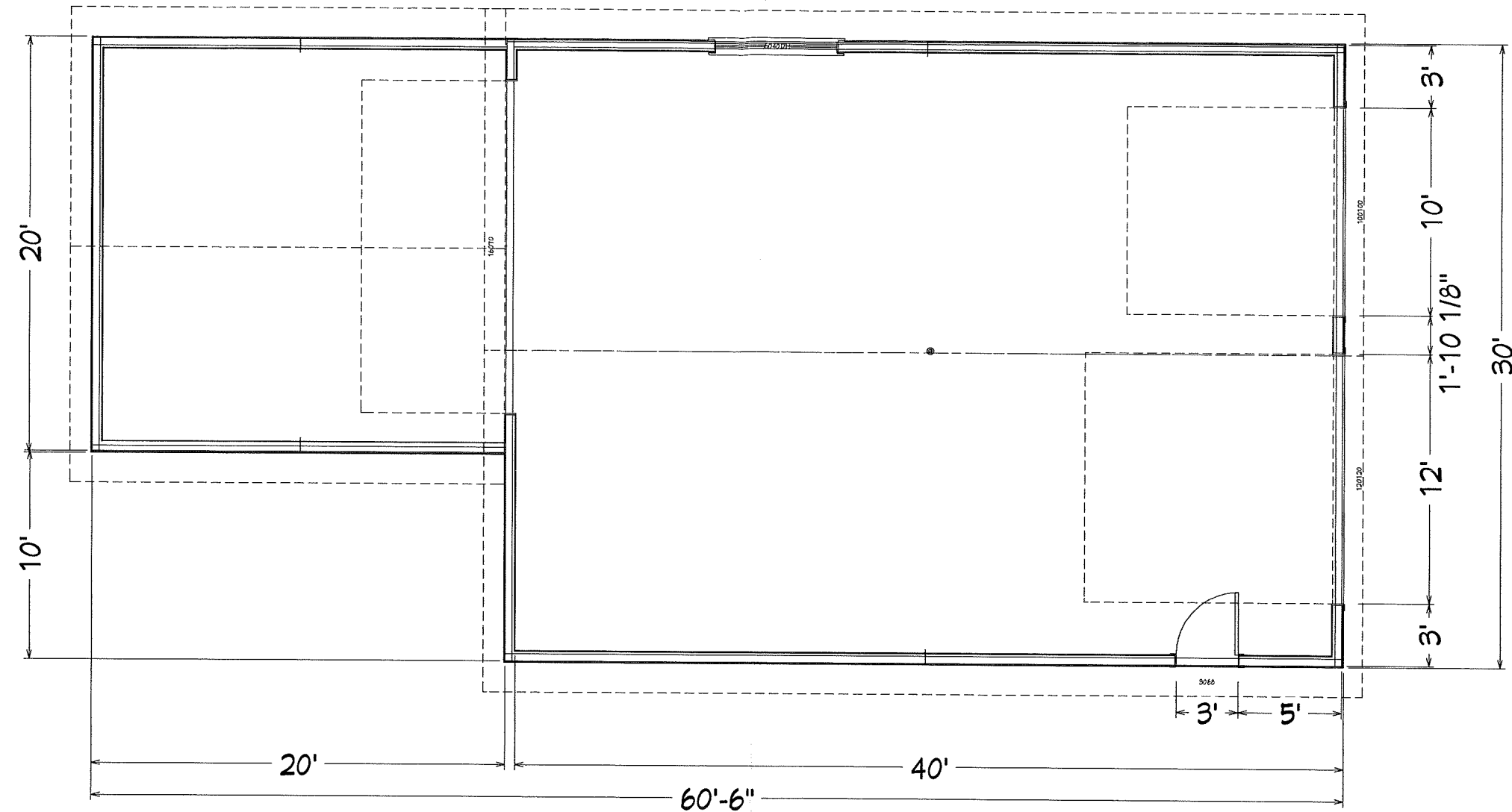
SCALE:

NTS

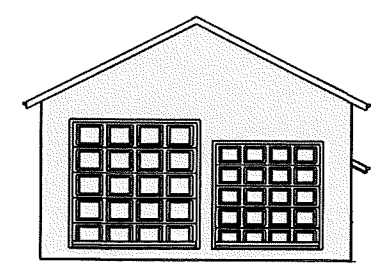
SHEET:

P-1

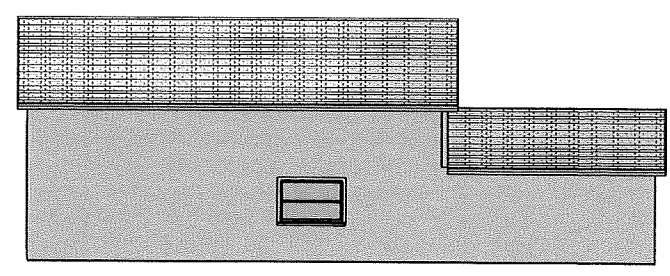
General Notes
 1. Addition has 14' sidewalls
 2. 6/12 Pitch Roof



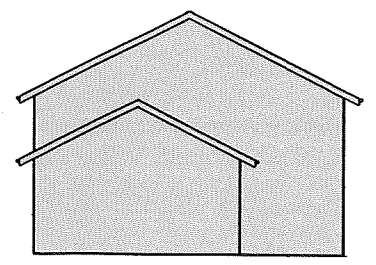
Guibord Garage



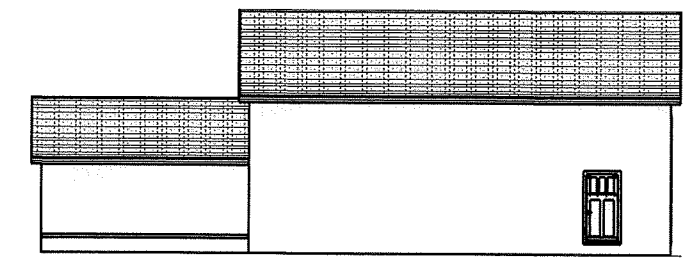
Front



Side



Back



Side

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

BROOKS
HOME RENOVATIONS

Guibord New Construction
Property Site Plans

DRAWINGS PROVIDED BY:

DATE:

3/22/21

SCALE:

NTS

SHEET:

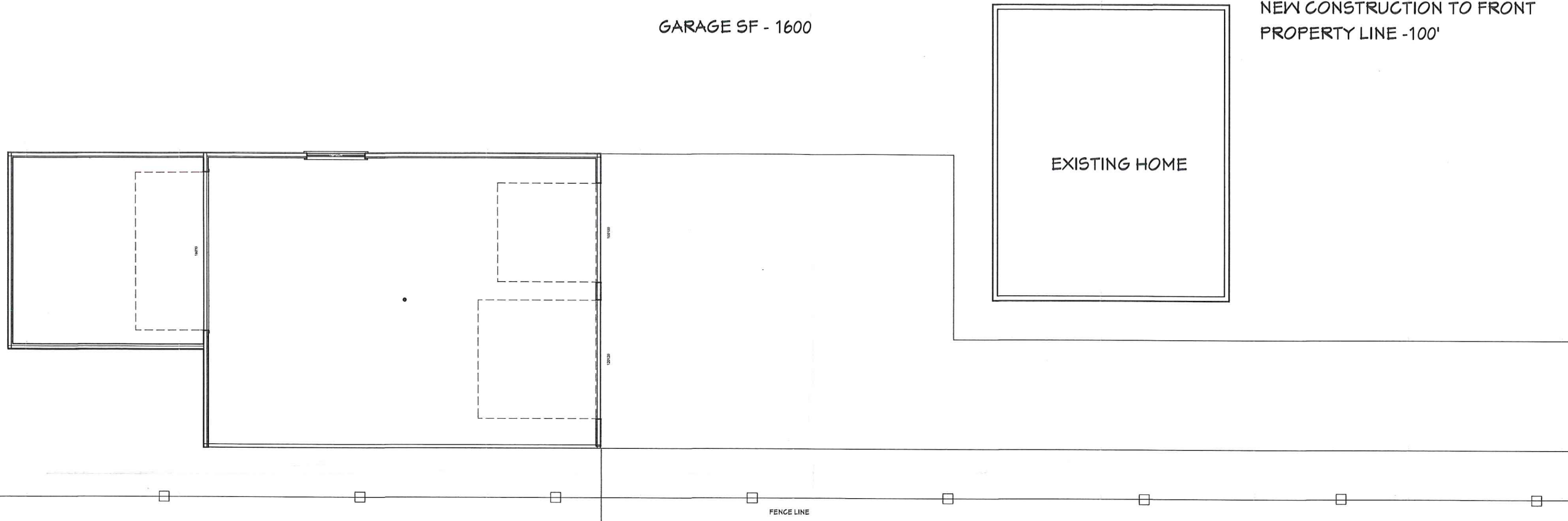
P-1

20' SIDEYARD SETBACK (R)
 5' SIDEYARD SETBACK (L)
 105' +/- REARYARD SETBACK
 240' +/- FRONTYARD SETBACK

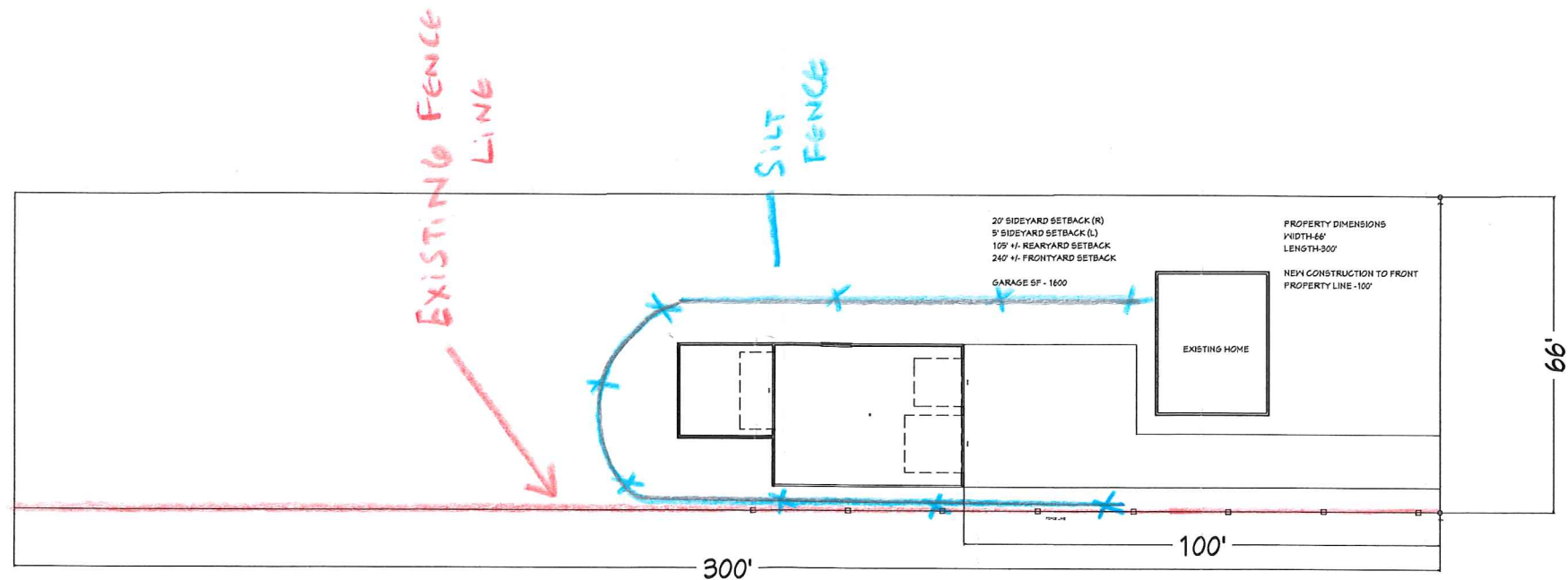
GARAGE SF - 1600

PROPERTY DIMENSIONS
 WIDTH-66'
 LENGTH-300'

NEW CONSTRUCTION TO FRONT
 PROPERTY LINE -100'



SITE PLAN



PROPERTY LINE

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

BROOKS
 HOME RENOVATIONS

Guibord New Construction
 Property Site Plans

DRAWINGS PROVIDED BY:

DATE:

3/23/21

SCALE:

NTS

SHEET:

P-1

05000

06000

04000

10000

02000

01000

024207803000

024207804000

024207805000

024207806000

024207807000

02421

02421

02421

024212600



LONDON RD

Return to search results

Property Summary

Owner (s): GUIBORD, JAMIE L & MARIRUTH E		Location: NW-NW, Sect. 34, T27N, R9W	
Mailing Address: JAMIE L & MARIRUTH E GUIBORD 3412 LONDON RD EAU CLAIRE, WI 54701-7693 Request Mailing Address Change		School District: 1554 - EAU CLAIRE AREA SCHOOL DISTRICT	
Tax Parcel ID Number: 18024-2-270934-220-2050	Tax District: 024-TOWN OF WASHINGTON	Status: Active	
Alternate Tax Parcel Number: 024207805000	Government Owned:	Acres: 0.0000	
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.): LOT 29 BLAKELEYS ADDITION TOWN OF WASHINGTON			
Site Address (es): <i>(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)</i> 3412 LONDON RD EAU CLAIRE, WI 54701			

Select Detail -->

<Select Detail>

Make Default Detail

Printer Friendly Page

View Interactive Map

Summary of Subject Details:

NOTE: Not all subject details are available at every county.

Assessments:

Assessment detail by year.

Taxes:

Tax history by year, links to tax payment history, and payoff calculator.

Zoning:

Rural zoning map for the selected parcel. Zoning is intended to be used as a reference only. Only rural zoning information is provided. For information about city or village zoning, please contact local officials.

Districts:

Special District information (Lake, Sanitary, TIF, BID).

Parcel History:

History of tax parcel changes. Parcel history is not available for changes made prior to June 2020. Changes made prior to this are available only by visiting the County.

Documents:

Documents related to selected tax parcel. There may be other documents related to this parcel that are not shown.

Survey History:

List of surveys performed on selected parcel or on parents of selected parcel. There may be surveys performed that are not available electronically through this portal.

Sales History:

List of all sales related to the selected parcel. There may be documents related to this parcel that are not shown.

Parcel Map:

Interactive map of the selected tax parcel. Maps are available for 'Active' parcels only.

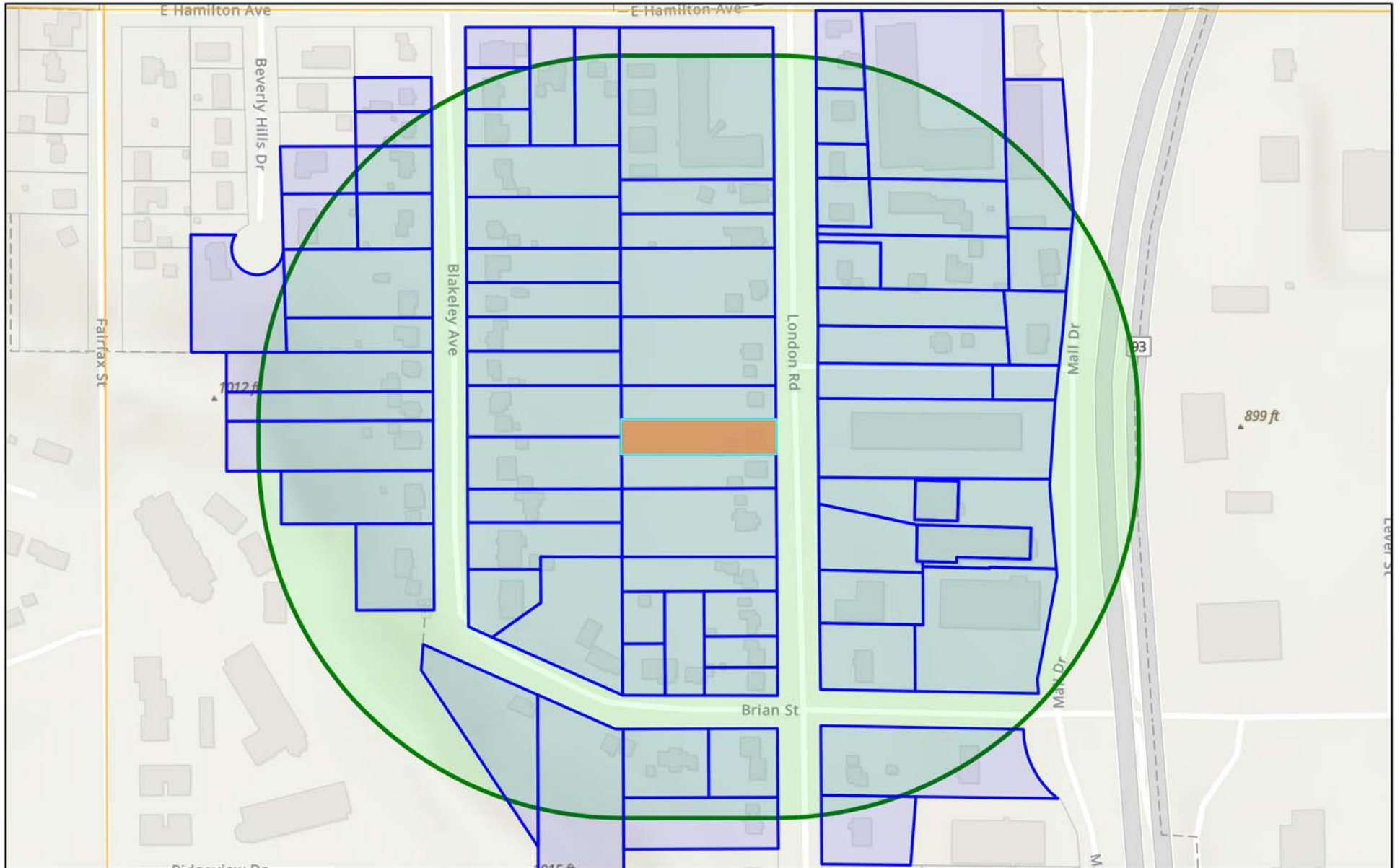
Permits:

Listing of sanitary and/or land use permits associated with the parcel.

Attachments:

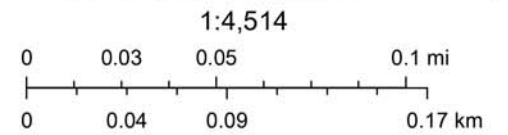
List of all saved files that have been associated with the parcel.

Public Notification



3/29/2021, 2:30:44 PM

- County Boundary
- Tax Parcel
- Section



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS,

FirstName LastName	Address	City State Zip
CONVENIENCE STORE INVESTMENTS	1626 OAK ST	LA CROSSE WI 54603-2308
CLS PROPERTIES LLC	4711 SHADY OAK RD	HOPKINS MN 55343-8840
AERO BUILDINGS LLC	3628 EASTWIND DR	EAU CLAIRE WI 54701-3106
KENNETH CHILSON TRUST	3610 WHITE BIRCH CT	EAU CLAIRE WI 54701-9201
PEM PROPERTIES LLC	3420 MALL DR STE 4	EAU CLAIRE WI 54701-8147
H MICHEL & LORI L LANIER	W 20 WOODRIDGE DR	EAU CLAIRE WI 54701-9671
HUNTWOOD LLC	3410 MALL DR	EAU CLAIRE WI 54701-7633
GWENDOLYN HOFSTETTER	3341 BLAKELEY AVE	EAU CLAIRE WI 54701-7551
TERRANCE M & JAIMEE D BOWLSBY	3351 BLAKELEY AVE	EAU CLAIRE WI 54701-7551
ANTHONY GOODMAN	3355 BEVERLY HILLS DR	EAU CLAIRE WI 54701-7504
RYAN PAUTZ	3391 BLAKELEY AVE	EAU CLAIRE WI 54701-7551
LESTER PEDERSON	3381 BLAKELEY AVE	EAU CLAIRE WI 54701-7551
BRUCE D & DIANE D JUMP	3380 BLAKELEY AVE	EAU CLAIRE WI 54701-7550
DENNIS BRAATZ	3441 BLAKELEY AVE	EAU CLAIRE WI 54701-7553
TRAVIS PERRY	N 41433 BOLSTAD LN	INDEPENDENCE WI 54747-8201
EAU CLAIRE COUNTY HOUSING AUTHORITY	227 1ST ST W	ALTOONA WI 54720-1673
REID ALSWORTH	2545 E HAMILTON AVE	EAU CLAIRE WI 54701
SB HOLDINGS LLC	3112 GOLF RD	EAU CLAIRE WI 54701-8013
TODD F & LEAH K BARTLETT	2608 BRIAN ST	EAU CLAIRE WI 54701-7652
ELLEN BARTOW	261 BUTTERNUT DR	STRUM WI 54770-5001
NICHOLAS R MUELLER	3440 LONDON RD	EAU CLAIRE WI 54701-7693
JENNA GINTER	3450 LONDON RD	EAU CLAIRE WI 54701-7693
BEN CAPAUL	3456 LONDON RD	EAU CLAIRE WI 54701-7693
DARREL E PETERSON TRUST	8351 172ND ST W	LAKEVILLE MN 55044-6203
JILL S & ALVIN G MICHAEL	3478 BLAKELEY AVE	EAU CLAIRE WI 54701-7552
CARL EITHUN	2521 BRIAN ST	EAU CLAIRE WI 54701-7651
PAUL BARCHES	3508 LONDON RD	EAU CLAIRE WI 54701-7860
CHRISTOPHER EGAN	3518 LONDON RD	EAU CLAIRE WI 54701-7860
LONDON SOBO LLC	3521 LONDON RD	EAU CLAIRE WI 54701-7861
ROGER S & VALERIE A WOOD TRUST	3335 LONDON RD	EAU CLAIRE WI 54701-7655
ANNA MAE FLESBERG	3341 LONDON RD	EAU CLAIRE WI 54701-7655
FITESTATE LLC	3420 MALL DR STE 7	EAU CLAIRE WI 54701-8147

HDHC PROPERTIES LLC	2819 E HAMILTON AVE	EAU CLAIRE WI 54701-6863
JOSHUA RESTAD	3365 BLAKELEY AVE	EAU CLAIRE WI 54701-7551
JOHN KRUMHOLZ	614 GALLOWAY ST # 714	EAU CLAIRE WI 54703-3516
SCOTT SHILL	3428 BLAKELEY AVE	EAU CLAIRE WI 54701-7552
KAYLEEN MYREN	W 4673 COUNTY ROAD Z	EAU CLAIRE WI 54701-8616
JAMES SOLIE	3483 BLAKELEY AVE	EAU CLAIRE WI 54701-7553
D BRAATZ	3406 CREEKSIDE CT	EAU CLAIRE WI 54701
GARY N & PEARL S PETERSON TRUST	3419 BLAKELEY AVE	EAU CLAIRE WI 54701-7553
ROBERT JOHNSON	941 CAMBRIDGE CT	ALTOONA WI 54720-2706
RIVERBEND HOLDINGS LLC	3305 LONDON RD	EAU CLAIRE WI 54701-7655
RONALD MARTIN	3390 BEVERLY HILLS DR	EAU CLAIRE WI 54701-7504
TREVOR OLSON	18651 SAN RIO CIR	LUTZ FL 33549-3918
MARY KOPPLIN	3390 BLAKELEY AVE	EAU CLAIRE WI 54701-7550
TIMOTHY JOHNSON	2529 BRIAN ST	EAU CLAIRE WI 54701-7651
JANICE KILDE	3358 LONDON RD	EAU CLAIRE WI 54701-7654
GEORGANNE GARDNER	3408 LONDON RD	EAU CLAIRE WI 54701-7693
JAMIE L & MARIRUTH E GUIBORD	3412 LONDON RD	EAU CLAIRE WI 54701-7693
LONDON RENTALS LLC	3445 LONDON RD	EAU CLAIRE WI 54701-6779
MAUREEN MAMARIL	3460 LONDON RD	EAU CLAIRE WI 54701-7693
BRANDON BASACKER	3326 BLAKELEY AVE	EAU CLAIRE WI 54701-7550
KEVIN NELSON	3370 BLAKELEY AVE	EAU CLAIRE WI 54701-7550
JEANNE DUPUIS	2601 BRIAN ST	EAU CLAIRE WI 54701-7653
WILSON TAYLOR	2607 BRIAN ST	EAU CLAIRE WI 54701-7653
EC LONDON SQUARE ASSOC	2418 CROSSROADS DR STE 2000	MADISON WI 53718-2423
SB HOLDINGS LLC	3928 SCOTCH PINE CT	EAU CLAIRE WI 54701-7785
RANDALL L & VALERIE D OLSON	3422 LONDON RD	EAU CLAIRE WI 54701-7693
MICHAEL A & MARY A LESTER	3359 BEVERLY HILLS DR	EAU CLAIRE WI 54701-7504
DANIEL L & TAMI J SEELEY	3352 BLAKELEY AVE	EAU CLAIRE WI 54701-7550

MINUTES

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, April 13, 2021

Time: 7:00 p.m.

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: **145 084 2426** Password: **K3BrwaAj28**

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: **1450842426##**

For those wishing to make public comment, you must e-mail Rod Eslinger at Rod.Eslinger@co.eau-claire.wi.us at least 30 minutes prior to the start of the meeting. You will be called on during the public comment period to make your comments.

**Please mute personal devices upon entry*

Members Present: Gary Gibson, Robin Leary, Dane Zook, James A. Dunning

Members Absent: Nancy Coffey,

Ex officio Present: Nick Smiar

Staff Present: Rodney Eslinger, Matt Michels, Jared Grande

1. Call to Order and confirmation of meeting notice

Chairperson Gibson called the meeting to order at 7 pm and confirmed that the meeting was properly noticed.

2. Public Comment (15 minute maximum)

None

3. Public Hearings

a. **Proposed Ordinance: File No. 20-21/126** "Amending the 1982 Zoning District Boundary Map for Town of Lincoln (Mark K & Barbara A Goings) / Discussion – Action

Matt Michels, Senior Planner for Eau Claire County presented the staff report. He stated the applicant is requesting to rezone 34.68 acres +/- of land from A-3 Agricultural District to A-P Agricultural Preservation District to allow the applicant to participate in farmland preservation. Matt reviewed an aerial map, site plan, soils, current zoning and planning designations, and adjacent land uses with the committee. Mr. Michels noted this is not a common request where a property wishes to rezone land into the A-P District. The Town of Lincoln recommended approval of the rezoning petition. Matt reviewed staff findings with the committee and gave his recommendation to approve the rezoning as presented.

Nick Goings, applicant, spoke in favor of the request and clarified for the committee that the A-P District matches his long-term goals for the property in keeping it in agriculture.

No one else spoke in favor or against the petition.

ACTION: Motion by Robin Leary to approve the Proposed Ordinance: File No. 20-21/126. Motion carried on a roll call vote: 3-0-0. Supervisor Dunning joined the meeting after this hearing.

- b. A conditional use permit (CUP-0006-21) request to amend CUP-0002-15 with proposed changes deemed substantial. Town of Pleasant Valley (Jeffery A Bemis) / Discussion – Action

Jared Grande, Land Use Manager for Eau Claire County, presented the staff report for a request to amend CUP-0002-15 that allowed the applicant to operate a micro-winery within the lower level of his residence. Mr. Grande reviewed the permit history with the committee and presented the background on how this matter was brought to the department's attention as a complaint. He provided a power point that included an overview of the application materials including a description of the request, the existing conditions, reviewed the adjacent land uses, site plan, relative zoning standards, and presented photos of the site. He indicated that the Town of Pleasant Valley has issued licenses to the applicant. The department also received a signed petition along with copies of an online petition from Bemis Bluff Winery patrons stating their support of the business and the amendment.

Jared reviewed his recommended conditions with the committee. He indicated that on Monday, April 12th the Town of Pleasant Valley Town Board conducted its hearing on the matter and voted to recommend approval of the CUP with four of their conditions along with staff's recommended conditions. The Town's recommended conditions were:

- 1) Only allowing 17 tables for outside seating and the parking lot size being adjusted accordingly to accommodate indoor and outdoor seating capacity,
- 2) No outdoor music is to be allowed at any time,
- 3) A review by the Town and the County in one year for compliance and possible minor modifications, and
- 4) All conditions of the new CUP must be met before outdoor seating is allowed.

Staff concluded that the applicant's request to amend CUP-0002-15 with the proposed changes considered a major modification appears to be consistent with the purpose of the zoning code, consistent with the standards for conditional use permits, consistent with the standards for approval of conditional uses in the A-P district, adheres to applicable zoning regulations, and adheres to 2017 Wisconsin Act 67 and Wis. Stat. 59.69(5e). Jared recommended approval subject to the conditions in the staff report along with the Town of Pleasant Valley's suggested conditions.

Jeff Bemis, property owner and applicant, spoke in support of the amendment. He stated that he was withdrawing from his request to have any outdoor music and is requesting only 24 outside tables instead of the 30 requested in the application materials. He noted that he does not make beer on site but had sold beer to patrons under his liquor license that town granted him. He addressed the fruit that was grown onsite, future expansion, on and off-site parking, a site plan, fence location, related noise impacts, trash and liter, sanitation, outside seating, food vendor, number of employees, and his current winery footprint in his structure.

Speaking in favor of the request were: Amanda Duce, Joanna Gohlke, Angela Lahn, Tammy Solsrud, Danielle Hawke, Alicia Canziani, Amanda Stange, Jill Balke.

Speaking in against the request were: Andrea Nyseth (spoke on behalf of her husband, Mark, neighbors: Dennis and Linda Hillestad, Loren and Sue Travis, and Jeremy Alleman), Wendy Nicolet Hagenss, and Dan Rhodes.

ACTION: Motion by Dane Zook to approve conditional use permit request to amend CUP-0002-15. Motion carried, 4-0-0.

During the committee's deliberations, the committee reviewed and analyzed each of the recommended conditions. The motion to approve included the town's conditions; adding to hours of operation the following verbiage, "Monday thru Sunday" at the end of the sentence; new condition "All rules and regulations in Publication 302 Wisconsin Alcohol Beverage and Tobacco Laws for Retailers from the Wisconsin Department of Revenue must be adhered to; outdoor seating is limited to 17 tables; no outside music is allowed; Up to 4 employees are allowed for the agriculture-related business. The complete list of the approved conditions is attached to the conditional use permit.

4. Review of March bills / Discussion

The committee reviewed the March bills.

5. Review/Approval of March 23, 2021 Meeting Minutes / Discussion – Action

The committee reviewed the March 23, 2021 committee meeting minutes.

ACTION: Motion by Robin Leary to approve the March 23, 2021 meeting minutes as presented. Motion carried, 4-0-0.

6. Proposed Future Agenda Items / Discussion

- a. Next scheduled meeting - April 27, 2021

7. Adjourn

Action: Meeting adjourned by unanimous consent at 9:55 p.m.

Respectfully Submitted,

Rodney Eslinger
Clerk, Committee on Planning & Development