

AGENDA

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, May 26, 2020

Time: 7:00 p.m.

*via remote access **ONLY**.

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 922 607 342 Password: geQ278CHN3J

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 922 607 342

**Please mute personal devices upon entry*

1. Call to Order and confirmation of meeting notice
2. Roll Call
3. Public Comment (**15 minute maximum**)
4. Public Hearings
 - a. **Proposed Ordinance: File No. 20-21/013** “Amending the 1982 Zoning District Boundary Map for the Town of Otter Creek” (Wayne M. and Carla L. Kostka) / Discussion – Action **PAGES 2-16**
 - b. **Proposed Ordinance: File No. 20-21/019** “Amending the 1982 Zoning District Boundary Map for the Town of Washington” (Ryan and Heidi McKone) / Discussion – Action **PAGES 17-28**
 - c. **Proposed Ordinance: File No. 20-21/018** “Amending the 1982 Zoning District Boundary Map for the Town of Washington” (Daniel & Patricia Green/Kerry & Deborah Kjelstad) / Discussion - Action **PAGES 29-47**
 - d. A conditional use permit request to for planned unit development for multiple commercial buildings and uses in the proposed C-2 General Business District. (Green/Kjelstad) Town of Washington / Discussion – Action **PAGES 48-86**
5. Final Plat Report Cambridge Estates / Discussion - Action **PAGES 87-92**
6. 2021 County Budget Timeline Review **PAGES 93-95**
7. 2020 Events related to COVID-19 / Discussion
8. Violation Update **PAGES 96-104**
9. Review/Approval of May 12, 2020 Meeting Minutes / Discussion – Action **PAGES 105-108**
10. Proposed Future Agenda Items / Discussion
 - a. Next scheduled meeting – June 9, 2020
11. Adjourn

REZONE NUMBER: RZN-0007-20 **COMPUTER NUMBER:** 016103902000

PUBLIC HEARING DATE: May 26, 2020

STAFF CONTACT: Matt Michels, Senior Planner

OWNER/AGENT: Wayne M & Carla L Kostka, S 13185 Young Rd, Osseo, WI 54758

REQUEST: Rezone 29.14 acres +/- of land from A-P (Agricultural Preservation) District to A-3 (Agricultural) District to sell land to neighboring property owners.

LOCATION: Northwest of the intersection of Co Rd. HH and Young Road

LEGAL DESCRIPTION: Part of the SE ¼ NW ¼ and NE ¼ NW ¼ of Section 17, Township 25 North, Range 7 West, Town of Otter Creek, Eau Claire County, Wisconsin (complete legal description attached).

RECOMMENDATION Approval of request based on findings outlined on Page 5 of this report

BACKGROUND

SITE CHARACTERISTICS:

- The property contains a single-family residence, agricultural outbuildings, and agricultural fields
- The property rolling, with approximately 40 feet of topographic relief.
- The property does not contain floodplains or mapped wetlands.
- The remaining 10.9 +/- acres will remain zoned A-P since it is contiguous to other A-P zoned property, which makes the zoning lot greater than the required 35 acres.

EXISTING ZONING DISTRICT:

A-P Agricultural Preservation District. The A-P Agricultural Preservation District is established to:

- Preserve and protect those areas best suited for agricultural, forestry or open-space uses by minimizing fragmentation of contiguous agricultural or forest lands for the benefit and use of current and future generations;*
- Provide for a wide range of agricultural uses typically associated with the continued production of food and fiber while recognizing that such uses may involve noise, dust, odor, or operation of heavy equipment for long periods of time;*
- Strengthen and diversify a predominately agricultural and forestry-based economy by providing for a range of economic opportunities for property owners which are generally compatible with and supportive of agriculture or forestry operations as either permitted or conditional uses;*
- Comply with standards contained in Wis. Stat. ch. 91 to permit eligible landowners to receive tax credits under Wis. Stat. § 71.09, in conjunction with their agricultural operations;*
- Preserve rural character and promote the efficient use of public infrastructure and utilities by minimizing the adverse effects of urban sprawl along with its associated expense;*
- Promote environmental quality through the use of conservation practices designed to minimize erosion of productive soils and deter the delivery of sediment and nutrients to the waters of our state;*
- Minimize land use conflicts which occur when agricultural and non-agricultural uses are intermixed or not adequately separated; and*

H. Provide for carefully regulated extraction of nonmetallic mineral resources through Eau Claire County's permitting processes to ensure compatibility with adjacent land uses, minimize impacts to natural resources, and to restore lands to productive agricultural use consistent with locally approved reclamation plans.

REQUESTED ZONING DISTRICT:

A-3 Agricultural District. This district is established to: (1) protect the agricultural base of the county; (2) preserve the county's natural resources and open space; (3) provide an area for limited residential and hobby farm development in a rural atmosphere; and (4) minimize urban sprawl and its associated public costs.

ZONING/LAND USE CONTEXT:

LOCATION	ZONING	LAND USE
Subject	A-P	Farmstead; Agricultural Fields
North	A-P	Agricultural Fields; Woodlands
East	A-P	Farmstead; Agricultural Fields
South	A-P	Agricultural Fields
West	A-P	Agricultural Fields

COMPREHENSIVE PLANS:

The Eau Claire County Future Land Use Map includes the property in the Rural Lands (RL) planning area and the Town of Otter Creek includes the property in the Rural Preservation (RP) planning area. Following are descriptions of the intent of the applicable County and Town comprehensive plan future land use categories and applicable policies.

Eau Claire County:

- Rural Lands Intent and Description: *The primary intent of these areas is to preserve productive agricultural lands, protect existing farm & forestry operations from encroachment by incompatible uses, promote further investments in farming, maintain farmer eligibility for incentive programs, and preserve wildlife habitat and open spaces. In other words, to preserve the rural character of these areas.*
- Applicable Policies:
 1. *Farming and other agriculture uses, agricultural-related businesses, cottage industries, forestry, mineral extraction, open space, and utilities shall be established as the primary land uses within these areas. Other uses may be permitted if found to be compatible with these uses and existing uses adjacent to the property.*
 2. *The preferred housing density is one (1) unit per 20 or more acres; however, local comprehensive plans may be more or less restrictive than this guideline and generally range from one (1) unit per five (5) acres to one (1) unit per 35 acres.*
 3. *The following Eau Claire County Zoning Districts will be considered for approval within RL areas: A-1 Exclusive Agricultural District, A-2 Agricultural-Residential District, A-3 Agricultural District, A-R Floating Agricultural-Residential District, F-2 Forestry District, F-1 Forestry District, and the proposed AC-R District noted below. The following additional policies shall apply to rezoning petitions:*
 - a. *Rezoning land to the A-R Floating Agricultural-Residential District or the proposed AC-R Agricultural Compatible Residential District is preferred over additional non-farm A-2 or A-3 parcels, unless rezoning land to either of these districts will not interfere*

with, will not disrupt, or will not be incompatible with farming or agricultural use, and will not take land suitable for cultivation or other agricultural use out of production.

Town of Otter Creek:

- Rural Preservation Intent and Description: *The primary intent of these areas is to preserve productive agricultural lands in the long-term, protect existing farm & forestry operations from encroachment by incompatible uses, promote further investments in farming, maintain farmer eligibility for incentive programs, and to preserve wildlife habitat and open spaces. In other words, to preserve the rural character of these areas.*
- Applicable Policies:
 1. *Farming and agricultural uses shall be established as the primary land uses within these areas. Uses that are incompatible with farming and agriculture shall be discouraged or prohibited (see policy 3 & 4).*
 2. *Within the RP classification, the gross density for any development shall be one (1) unit per 35 contiguous acres held in single ownership.*
 3. *Agriculturally related businesses, cottage industries, utility, recreation, mineral extraction, religious and government uses may be permitted based on the conditional use requirements of the appropriate Eau Claire County base zoning districts for RP areas (See policy 5).*
 5. *The following Eau Claire County zoning districts will be considered for approval within RP areas: A-1 Exclusive 5. Agricultural District, A-R Floating Agricultural-Residential District, F-2 Forestry District, and F-1 Forestry District.*

The application has been found to be generally consistent with the intent, description, and the applicable policies of the Eau Claire County Rural Lands Future Land Use. Note that the Town of Otter Creek Rural Preservation Future Land Use does not specifically include A-3 as a permitted zoning district in the RP area.

FARMLAND PRESERVATION PLAN:

The property is included in the Farmland Preservation Plan Map, which allows the property owner to claim Farmland Preservation tax credits. The proposed A-3 District is not a certified farmland preservation district and the proposed lot would not qualify for Farmland Preservation tax credits.

Comprehensive Plan Summary

The proposed A-3 zoning district is consistent with the intent and description and the applicable policies of the Eau Claire County Comprehensive Plan Rural Lands Planning Area.

ANALYSIS

When rezoning land, a finding should be made that the purpose of the proposed zoning district and the uses that are allowed in that district are appropriate for the location; and that the rezoning will uphold the purpose of the zoning ordinance. A finding should also be made that the rezone is consistent with the County's Comprehensive Plan.

A-P Rezoning Standards

In addition, there are four standards for approving a rezoning of land from the A-P Agricultural Preservation zoning district to any other district. The following provides an analysis of this rezoning petition based on those standards:

Standard 1 - *The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses.*

- **Soil Types** – Four (4) of the five (5) soil types on the property are considered prime agriculture soils.

Soil Type	Description	Capability Class
E1B	Eleva Sandy Loam, 2-6% slopes, eroded	3
E1C2	Eleva Sandy Loam, 6-12% slopes, eroded	3
MeB	Meridian Loam, 2-6% slopes	2
MeC2	Meridian Loam, 6-12% slopes, eroded	3
EmE	Elkmound Loam, 20-45% slopes	7

- **Historical Productivity** – The parcel is currently developed with a single-family residence, agricultural buildings, and agricultural fields. No changes to land use are proposed with this rezoning.
- **Site Location** – The property is located on County Road HH and Young Road
- **Adjacent Land Uses** – Uses in the area include a mixture of farmlands, woodlands, and single-family residences, and vacant open areas.

Standard 2 - *The rezoning is consistent with any applicable comprehensive plans.*

The proposed rezoning substantially conforms to the future land use intent, purpose, and policies for the Eau Claire County Comprehensive Plan, including policies related to limiting residential density in rural areas of the County and limiting conversion of productive farmland.

Standard 3 - *The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan.* The proposed rezoning would not remove productive farmland from cultivation

Standard 4 - *The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.*

The proposed rezoning will not likely impair or limit current or future agricultural use, although non-farm residential development is discouraged in the Rural Lands (RL) Planning Area.

Town Board Action: The Otter Creek Town Board did not make a recommendation on the proposed rezone at their Tuesday, May 19 meeting since the applicant was not in attendance. They will consider the rezone at their next regular meeting on Tuesday, June 16.

The rezoning petition has been evaluated for consistency with the purpose of the A-3 District and the uses allowed in the district. The request is generally consistent with the purpose of the zoning code based on the following findings:

- The proposed rezoning is consistent with the intent and purpose of the Eau Claire County Future Land Use plan.
- Existing uses in the area include agricultural fields, farmsteads, scattered single-family residences, and scattered woodlands.
- Zoning in the area is predominantly A-P.

CONCLUSION

The rezone petition has been evaluated for consistency with the following:

- Eau Claire County Comprehensive Plan future land use designation
- Eau Claire County Comprehensive Plan goals, objectives and policies
- Eau Claire County Farmland Preservation Plan

- Eau Claire County Zoning Ordinance, including purpose of the zoning code and allowable uses in the A-3 District

In addition, the following factors have also been considered:

- Input of surrounding property owners. No correspondence in support or opposed to the proposed rezoning has been received, to date.

FINDINGS

Findings in Favor:

1. The request is generally consistent with the goals, objectives, and policies of the Eau Claire County Comprehensive Plan, as required by Section 19.01.020.B of the Eau Claire County Code; and Wisconsin Statutes §66.1001(1)(am) and §66.1001(3)(j), including the intent, description, and policies of the Rural Lands Future Land Use classification in Section 3.3 of the Eau Claire County Comprehensive Plan and Map 9 (Future Land Use) of the Eau Claire County Comprehensive Plan.
2. The remainder of the property will remain A-P.
3. The property has existing road frontage on Young Road and Co. Rd. HH.

Finding Against:

1. Although it is not currently proposed, the proposed rezoning could potentially allow for an additional non-farm residence in a predominantly agricultural area.

4 -AMENDING THE 1982 OFFICIAL ZONING DISTRICT BOUNDARY MAP FOR THE
5 TOWN OF OTTER CREEK -

6 The County Board of Supervisors of the County of Eau Claire does ordain as follows:

7
8 **SECTION 1.** That the 1982 Official Zoning District Boundary Map for the Town of
9 Otter Creek, described as follows:

10
11 A parcel of land being part of the Southeast ¼ of the Northwest ¼ and part
12 of the Northeast ¼ of the Northwest ¼, of Section 17, Township 25 North,
13 Range 7 West, being that part of the East 705 feet of the Southeast ¼ of
14 the Northwest ¼ of said Section 17 lying West of Young Road.

15
16 Also, that part of the East 705 feet of the Northeast ¼ of the Northwest ¼
17 of said Section 17 lying South of abandoned railroad.

18
19 Said described parcel of land containing 24.5 acres +/-, of land and is
20 subject to the easements and restrictions of record to be reclassified from
21 the A-P Agricultural Preservation District to the A-3 Agricultural
22 District.

23
24 **SECTION 2.** Where a certified survey map is required and may alter the above
25 described property description, the official zoning district map for the
26 town shall be automatically amended to reflect the property description of
27 the certified survey map.

28
29
30 **ENACTED:** I hereby certify that the foregoing correctly represents the
31 action taken by the undersigned Committee on, May 26,
32 2020 by a vote of for, against.

33
34
35 _____
36 Planning & Development Committee, Chairperson

37
38
39 CC

40
41 Dated this 26th day of May 2020

42
43 ORDINANCE 20-21/013
44
45

20-21/013

Sup. Dist 5 - Carl Anton

Eau Claire County
Department of Planning and Development
Eau Claire County Courthouse
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703
(715) 839-4741

RECEIVED

APR 15 2020

COUNTY CLERK

Rezoning - County

Application Accepted: 4/15/2020
Accepted By: Matt Michels
Receipt Number: 63447
Town Hearing Date: 04/20/2020
Scheduled Hearing Date: 5/12/2020
Application No: RZN-0007-20
Appl Status: Pending

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: **AP** Proposed Zoning District(s): **A3** Acres to be Rezoned: **24.5**

Part Of The Se1/4 Nw1/4, Sect 17, T25N, R7W, Town Of Otter Creek, Eau Claire Co, WI

Owner/Applicant Name(s): Wayne M & Carla L Kostka	Address: (ow) S 13185 YOUNG RD OSSEO	Telephone:
-------------------------------------------------------------	------------------------------------------------	-------------------

Site Address(es): S 12360 YOUNG RD OSSEO	S 12432 YOUNG RD OSSEO
Property Description: Sec 17 Twn 25 Rge 07	Town of Otter Creek Lot Area: 40.000 ACRES
Zoning District(s): AP	

Overlay District: Check Applicable	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Airport	<input type="checkbox"/> Wellhead Protection	<input type="checkbox"/> Non-Metallic Mining
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PIN 1801622507172400001	Alternate No 016103902000	Parcel No 25.7.17.2-4	Legal (partial) SE-NW
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I certify by my signature that all the information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature _____ Date _____

Check if DATCAP must be notified _____

Check if DNR to Receive Copy _____

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Eau Claire County
 Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:
 Accepted By:
 Application Number:
 Town Hearing Date:
 Scheduled Hearing Date:

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: A-1 / AB Proposed Zoning District(s): A-3

Acres to be rezoned: Approx 24.5

Property Owner Name: Wayne & Carla Kostka Phone# 715-829-6417
 Mailing Address: 512360 Young Rd Osseo WI 54758
 Email Address:

Agent Name: Phone# **RECEIVED**
 Mailing Address: **APR 15 2020**
 Email Address: **COUNTY CLERK**

SITE INFORMATION

Site Address: 512360 Young Rd Osseo WI 54758
 Property Description: SE 1/4 NW 1/4 Sec. 17 T 25 N, R 07 W, Town of See Attach 1

Zoning District: Code Section(s):
 Overlay District: Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining
 Check Applicable

Computer #(s): 016 - 1089 - 02 - 000

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

- Complete attached information sheet
- Contact the Town to coordinate a recommendation on the application
- Provide legal description of property to be rezoned
- Provide \$595.00 application fee (non-refundable), payable to the Eau Claire County Treasurer (\$525.00 application processing fee and \$70.00 mapping surcharge fee)

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Wayne Kostka Date 4-6-20

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

REZONING APPLICATION CHECKLIST

Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

Describe the reason(s) for your rezoning request:

We are selling land to our neighbors Landa Wier. We are also doing a small deed transfer to keep as much farm land connected.

When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

Any land being farmed at the time of sale will continue to be farmed as it was before. The small amount of field in the 24 acres that was farmed before will continue to be farmed/rented to the Wiers.

Rezoning petitions to change the zoning of a parcel from the A-P Agricultural Preservation District to any other District must be based upon findings that consider the following factors:

- 1) The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses;
- 2) The rezoning is consistent with any applicable comprehensive plans;
- 3) The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan; and
- 4) The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

If you are petitioning to rezone land from an A-P District to another district, please describe how the proposed change in zoning will be consistent with the four findings listed here.

Attach 1

Part of the Southeast Quarter of the Northwest Quarter and part of the Northeast Quarter of the Northwest Quarter, Section 17, Township 25 North, Range 7 West, Town of Otter Creek, Eau Claire County, Wisconsin. Described as follows.

That part of the East 705 feet of the Southeast Quarter of the Northwest Quarter of said Section 17 lying West of Young Road.

ALSO, that part of the East 705 feet of the Northeast Quarter of the Northwest Quarter of said Section 17 lying South of abandoned Railroad.

Legend

- 700' Buffer
- Subject parcel
- Parcels in buffer
- Civil Divisions
- Parcels



MCKONE REZONE LEGAL NOTICE MAP



Parcel Mapping Notes:

The horizontal datum is based on the Eau Claire County Coordinate System NAD_1983_HARN_Adj_WI_EauClaire_Feet

This map is a collection of public record information and was prepared as an ongoing commitment to provide quality and up-to-date information to the public. This map is intended for information use only. Although significant care has been exercised to produce maps that satisfy mapping accuracy standards, these maps are only as accurate as the source data from which they were compiled. These maps are intended to be advisory and are NOT designed or intended to be used as a substitute for an accurate field survey, as performed by a Wisconsin Credentialed Land Surveyor, to determine precise property location.

Eau Claire County does not warrant, guarantee or make any representations regarding the use of, or results from the use of the data in terms of correctness, accuracy, reliability, currentness, or otherwise; and the user relies on the map and results solely at their own risk.



FirstName	LastName	Address	City	State	Zip
JAMES A & SHEILA Y	HAMPTON	S 11862 YOUNG RD	AUGUSTA	WI	54722-7440
WAYNE M & CARLA L	KOSTKA	S 13185 YOUNG RD	OSSEO	WI	54758-6701
RONALD	PERRY	E 12735 COUNTY ROAD K	OSSEO	WI	54758-9787
RANDY	SAMENS	E 13215 COUNTY ROAD HH	OSSEO	WI	54758-9795
LANCE	WIER	S 12205 COUNTY ROAD K	OSSEO	WI	54758-7728

REZONE NUMBER: RZN-0010-20 **COMPUTER NUMBER:** 024117508000

PUBLIC HEARING DATE: May 26, 2020

STAFF CONTACT: Matt Michels, Senior Planner

OWNER/AGENT: Ryan and Heidi McKone, 3108 Drier Rd, Eau Claire, WI 54701

REQUEST: Rezone 5 acres +/- of land from A-1 (Exclusive Agricultural) District to A-2 (Agriculture-Residential) District to allow the construction of a single family residence, and from A-1 to A-3 (Agricultural) for the balance of the property to meet minimum acreage requirements since the remainder of the property will be slightly below the 35 acres required in the A-1 District. The remainder of the property will remain in agricultural production for the time being.

LOCATION: North of the NW corner of Walnut Rd and Peuse Rd

LEGAL DESCRIPTION: Portion of the SE $\frac{1}{4}$ of the SE $\frac{1}{4}$, Section 14, Township 26 North, Range 9 West, Town of Washington, Eau Claire County, Wisconsin.

RECOMMENDATION Approval of request based on findings outlined on Page 3-4 of this report

BACKGROUND

SITE CHARACTERISTICS:

- Most of the property is developed for agriculture.
- The property generally slopes from northwest to southeast, with approximately 70 feet of topographic relief
- The western portion of the property contains floodplains and mapped wetlands.
- Although not subject to Farmland Preservation regulations, the property contains primarily non-prime (soil capability Class 4 and 6) soil types.

EXISTING ZONING DISTRICT:

A-1 Agricultural Preservation District. The A-1 Agricultural Preservation District is established to “*preserve areas for farming or agricultural use and to minimize land use conflicts between farms and non-farms.*” Permitted principal uses include agricultural uses, nurseries and livestock facilities. Note that as of December 15, 2015 the A-1 zoning district is no longer a certified farmland preservation zoning district.

REQUESTED ZONING DISTRICTS:

A-2 Agriculture-Residential District. *This district is established to “provide an area for limited residential and hobby farm development in a rural atmosphere.”*

A-3 Agricultural District. *This district is established to protect the agricultural base of the county; preserve the county’s natural resources and open space; provide an area for limited residential and hobby farm development in a rural atmosphere; and minimize urban sprawl and its associated public costs.*

ZONING/LAND USE CONTEXT:

LOCATION	ZONING	LAND USE
Subject	A-P	Agricultural Fields; Woodlands
North	A-2	Single-Family Residence; Woodland; Agricultural Field
East	A-3	Agricultural Fields; Single-family residence & ag. buildings
South	A-P	Agricultural Fields; Single-family residence
West	A-1	Woodlands; Agricultural Fields

COMPREHENSIVE PLANS:

The Eau Claire County and The Town of Washington Future Land Use Maps both include the properties in the Rural Transition (RT) planning area. Following are descriptions of the intent of the applicable County and Town comprehensive plan future land use categories.

Eau Claire County Rural Transition (RT) Intent and Description:

The primary intent of this classification is to manage residential growth and reduce sprawl, with its attendant infrastructure costs, by identifying lands in proximity to developed areas to be maintained in mainly agricultural and open space uses until such time as more intensive residential development may be appropriate. As mapped, this designation may include farmland, open lands, woodlots, agricultural-related uses, cottage industries, mineral extraction operations, and limited low density residential development. These lands are also outside of the certified Farmland Preservation area and are recognized as transitional areas within the 2015 Eau Claire County Farmland Preservation Plan. Within the horizon of this Plan, future development in the RT areas is expected to be consistent with the existing pattern of development. However, it is anticipated that over time these lands may be transitioned to more intensive residential development as Rural Residential lands are developed and built out.

Town of Washington Rural Transition (RT) Intent and Description:

The primary intent of this classification is to manage residential growth and reduce sprawl, with its attendant infrastructure costs, by identifying lands in proximity to developed areas to be maintained in mainly agricultural and open space uses until such time as more intensive residential development may be appropriate. As mapped, this designation may include farmland, open lands, woodlots, agricultural-related uses, cottage industries, mineral extraction operations, and limited low density residential development. These lands are also outside of the certified Farmland Preservation area and are recognized as transitional areas within the 2015 Eau Claire County Farmland Preservation Plan. Within the horizon of this Plan, future development in the RT areas is expected to be consistent with the existing pattern of development. However, it is anticipated that over time these lands may be transitioned to more intensive residential development as Rural Residential lands are developed and built out.

The application has been found to be generally consistent with the intent, description, and the applicable policies of the Eau Claire County Rural Transition Future Land Use and the Town of Washington Rural Transition Future Land Use. Note that the Rural Transition designation could enable further land divisions or residential subdivision in the future subject to the applicable comprehensive plan policies.

EAU CLAIRE COUNTY FARMLAND PRESERVATION PLAN:

The property is excluded from the Farmland Preservation Plan Map, which allows the property owner to claim Farmland Preservation tax credits. The 2015 Farmland Preservation Plan excludes all areas designated as “transitional”, including this property, from the certified farmland preservation zoning district (A-P).

Comprehensive Plan Summary

The proposed A-2 and A-3 zoning districts are consistent with the intent and description and the applicable policies of the Eau Claire County Comprehensive Plan Rural Transition Planning Area.

Town Board Action: The Washington Town Board will consider the rezoning petition on Thursday, May 21, 2020.

The rezoning petition has been evaluated for consistency with the purpose of the A-2 District and the uses allowed in the district. The request is generally consistent with the purpose of the zoning code based on the following findings:

- The proposed rezoning is consistent with the intent and purpose of the Eau Claire County Future Land Use plan, which enables Rural Lands future land uses such as A-2 and A-3 zoning on the property until it is determined that the property is appropriate for Rural Residential or other more intensive land uses.
- Existing uses in the area include agricultural fields, farmsteads, scattered single-family residences, and scattered woodlands.
- Zoning in the area is a mix of A-1, A-2, A-3, and A-P.

CONCLUSION

The rezone petition has been evaluated for consistency with the following:

- Eau Claire County Comprehensive Plan future land use designation
- Eau Claire County Comprehensive Plan goals, objectives and policies
- Eau Claire County Farmland Preservation Plan
- Eau Claire County Zoning Ordinance, including purpose of the zoning code and allowable uses in the A-2 and A-3 Districts

In addition, the following factors have also been considered:

- Input of surrounding property owners. No correspondence in support or opposed to the proposed rezoning has been received, to date.

FINDINGS

Findings in Favor:

1. The request is consistent with the goals, objectives, and policies of the Eau Claire County Comprehensive Plan, as required by Section 19.01.020.B of the Eau Claire County Code; and Wisconsin Statutes §66.1001(1)(am) and §66.1001(3)(j), including the intent, description, and policies of the Rural Lands Future Land Use classification in Section 3.3 of the Eau Claire County Comprehensive Plan and Map 9 (Future Land Use) of the Eau Claire County Comprehensive Plan.
2. Only one (1) additional home will be enabled with this rezoning action.
3. The proposed A-3 zoning on the remainder of the 40-acre property cannot be further divided without an additional rezone petition.

4. Although not subject to the Farmland Preservation criteria for rezoning out of A-P, the majority of the property to be rezoned contains non-prime soils and prime farmland will not be impacted with this rezone action.
5. The property has required road frontage on Peuse Road.
6. The remainder of the parcel will remain zoned A-3, which is an agricultural zoning district.

Findings Against:

1. The proposed rezoning would allow for an additional non-farm residence in a predominantly agricultural area.
2. The proposed rezone will likely take a small amount of active farmland out of production.

20-21/019

Sup. dist. 10 - Nancy Coffey

Eau Claire County
Department of Planning and Development
Eau Claire County Courthouse
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703
(715) 839-4741

Application Accepted:	4/27/2020
Accepted By:	Matt Michels
Receipt Number:	63479
Town Hearing Date:	05/21/2020
Scheduled Hearing Date:	5/26/2020
Application No:	RZN-0010-20
Appl Status:	Pending

Rezoning - County

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: **A1** Proposed Zoning District(s): **A2** Acres to be Rezoned: **5**

Part Of The Se1/4 Se1/4, Section 14, T26N, R9W, Town Of Washington, Eau Claire County, Wi

RECEIVED
APR 26 2020

Owner/Applicant Name(s): Ryan J Mckone Heidi K Mertzig-Mckone	Address: (ow) 3108 DRIER RD EAU CLAIRE (ow) 3108 DRIER RD EAU CLAIRE	Telephone: COUNTY CLERK
----------------------------------------------------------------------------	-----------------------------------------------------------------------------------	---------------------------------------

Site Address(es):

Property Description: Sec 14 Twn 26 Rge 09 **Town of Washington** **Lot Area:** 40.000 ACRES

Zoning District(s): A1

Overlay District: Shoreland Flood Plain Airport Wellhead Protection Non-Metallic Mining

Check Applicable

PIN	Alternate No	Parcel No	Legal (partial)
1802422609144400001	024117508000	26.9.14.4-4	SE-SE

I certify by my signature that all the information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature _____ Date _____

Check if DATCAP must be notified _____

Check if DNR to Receive Copy _____

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Eau Claire County
 Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

*4/16/20
 LM
 w/ Ryan
 will send*

Application Accepted:	4/16/20
Accepted By:	mmh
Receipt Number:	63479
Town Hearing Date:	5/21/20
Scheduled Hearing Date:	5/26/20

RECEIVED
APR 26 2020
REC'D

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: A1 - Exclusive Agriculture	Proposed Zoning District(s): A2 - Ag/Residential
Acres to be rezoned: 5	

Property Owner Name: Ryan & Heidi McKone	Phone# (715) 410-2129
Mailing Address: 3108 Drier Road, Eau Claire, WI 54701	
Email Address: rj.mckone@gmail.com	

RECEIVED

Agent Name: N/A	Phone#
Mailing Address: N/A	
Email Address: N/A	

APR 26 2020

COUNTY CLERK

SITE INFORMATION

Site Address: 0 Peuse Rd, Eau Claire, WI 54701

Property Description: SE $\frac{1}{4}$ SE $\frac{1}{4}$ Sec. 14, T 26N, R 09, W, Town of Washington

Zoning District: A1 - Exclusive Agriculture Code Section(s):

Overlay District: Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining

Computer #(s): 024 - 117 - 508 - 000

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application
<input checked="" type="checkbox"/> Provide legal description of property to be rezoned	<input checked="" type="checkbox"/> Provide \$565.00 application fee (non-refundable), payable to the Eau Claire County Treasurer (\$500.00 application processing fee and \$65.00 mapping surcharge fee)

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature *R. McKone*
Heidi McKone

Date 4/6/2020

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

REZONING APPLICATION CHECKLIST

Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

The rezoning procedures and details have been outlined in the rezoning brochure, which is available at the Department of Planning and Development.

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

■ Describe the reason(s) for your rezoning request:

Intend to rezone a portion of the property to build a single family residence.

■ When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

The proposed rezone meets the requirements of the Town of Washington and its future land use plan for Rural Preservation.

Rezoning petitions to change the zoning of a parcel from the A-P Agricultural Preservation District to any other District must be based upon findings that consider the following factors:

- 1) The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses;
- 2) The rezoning is consistent with any applicable comprehensive plans;
- 3) The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan; and
- 4) The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

If you are petitioning to rezone land from an A-P District to another district, please describe how the proposed change in zoning will be consistent with the four findings listed here.

McKone Property—Rezone Schematic



Legend

- 700' Buffer
- Subject Parcel
- Parcels in Buffer
- Civil Divisions
- Parcels



WALNUT RD

PEUSE RD

TALMADGE RD

RIDGEWOOD DR

WOODLAND DR

024117506000

024117505000

024117204000

024117204010

024117507000

024117508000

024117205000

024117205010

018110602010

018110603000

018110602000

018110907000

1 inch = 600 feet

FirstName	LastName	Address	City	State	Zip
	CLIFF FAMILY TRUST	6681 TALMADGE RD	EAU CLAIRE	WI	54701-8811
JUDITH	ERICKSON	E 4951 WALNUT RD	EAU CLAIRE	WI	54701-2402
GARY L & JOY E	GASSER	E 4805 WALNUT RD	EAU CLAIRE	WI	54701-8559
KERWIN	HEATH	E 5911 WALNUT RD	EAU CLAIRE	WI	54701-8561
	HOLLY J PEUSE TRUST	6765 PEUSE RD	EAU CLAIRE	WI	54701-8809
	HUTCH'S WILLOW CREEK FARM INC	E 5325 WALNUT RD	EAU CLAIRE	WI	54701-2401
	JUNCTION PROPERTIES LLC	5891 GRAFF RD	EAU CLAIRE	WI	54701-8953
	KINDERMAN TRUST	S 7523 COUNTY ROAD I	EAU CLAIRE	WI	54701-8524
RYAN	MCKONE	3108 DRIER RD	EAU CLAIRE	WI	54701-8102
DONALD C & HARRIET L	OTTO	4525 E HAMILTON AVE	EAU CLAIRE	WI	54701-8486
RANDALL	OTTO	5490 WALNUT RD	EAU CLAIRE	WI	54701-8808
DRAMUS	PEUSE	1904 EMERY ST	EAU CLAIRE	WI	54701-4309

REZONE NUMBER: RZN-0009-20 **COMPUTER NUMBERS:** 024116207000
024116206010

PUBLIC HEARING DATE: May 26, 2020

STAFF CONTACT: Matt Michels, AICP, Senior Planner

OWNERS: Daniel & Patricia Green, E 6295 Evergreen Rd., Eleva, WI 54738
Kerry & Deborah Kjelstad, 2301 Deerfield Rd, Eau Claire, WI 54701

AGENT: Pete Gartmann, Real Land Surveying, 1360 International Dr, Eau Claire, WI 54701

REQUEST: Rezone 5.95 acres +/- of land from RH (Rural Homes) District to C-2 (General Business) to allow construction of an event center, café and market building, a rental/storage building, and a honeymoon suite duplex building. These uses would be allowed in the C-2 District with a Conditional Use Permit (CUP)

LOCATION: East side of Sandstone Road at the eastern terminus of Greenway Street

LEGAL DESCRIPTION: Part of the North $\frac{1}{2}$ of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 10, Township 26 North, Range 9 West, and Lot 1 CSM 3179 (Volume 17 Page 431) Town of Washington, Eau Claire County (complete legal description attached)

RECOMMENDATION Approval of request based on findings outlined on Page 4 of this report

BACKGROUND

SITE CHARACTERISTICS:

- The property is undeveloped
- The majority of the property is wooded
- An above-ground power line runs east-west through the southern portion of the northerly parcel to be rezoned
- The property contains several areas of steep slopes
- There are no floodplains or mapped wetlands on the parcels

EXISTING ZONING DISTRICT:

RH Zoning District. The purpose of the R-H District is to “provide for suburban large-lot development with individual on-site water and sewage disposal facilities.” Minimum lot size in the RH District is one (1) acre.

REQUESTED ZONING DISTRICT:

C-2 Zoning District. The purpose of the C-2 District is “to provide an area for retail businesses of a community-wide range.”

ZONING/LAND USE CONTEXT:

LOCATION	ZONING	LAND USE
Subject	RH	Undeveloped
North	RH	Single-family residences
East	RH	Single-family residences
South	C-3	Future Commercial Offices
West	C-3	Vacant (planned for commercial uses)

COMPREHENSIVE PLANS:

The Eau Claire County Future and Town of Washington Future Land Use Maps both include the property in the Rural Commercial (RC) planning area. Following is a description of the intent of the applicable County and Town comprehensive plan future land use category and applicable policies.

Eau Claire County:

Rural Commercial Intent and Description: *The primary intent of this classification is to identify areas suitable for planned commercial development. There are some existing scattered commercial developments throughout the County and these areas are expected to stay in commercial use. The most appropriate commercial uses will be those that serve rural needs and/or are consistent with the existing rural character, e.g. veterinary clinics, blacksmith/woodworking shops, roadside meat or produce businesses, nurseries, or agricultural implement dealers.*

Applicable Policies:

2. *The County or local community might require the use of public sanitary systems (particularly when located in an area where such service is available) or group/alternative on-site wastewater treatment facilities (particularly for businesses with high wastewater/water demands). Responsibility for long-term maintenance of these systems shall be determined prior to approval.*
3. *For those Towns under County Zoning, the following Eau Claire County Zoning Districts will be considered for approval within RC areas: C-1 Neighborhood Business District, C-2 General Business District, and the C-3 Highway Business District.*

Town of Washington:

Rural Commercial Intent and Description:

The primary intent of this classification is to identify areas suitable for planned commercial development. There are some existing scattered commercial developments throughout the Town and these areas are expected to stay in commercial use. Additional commercial land has been outlined along STH 93 and I94. The best uses will be those that serve a rural nature, i.e. veterinarian clinic, greenhouses/nurseries, blacksmiths, or agricultural implement dealer.

Applicable Policies:

1. *In accordance with the policies of this plan, commercial development shall be encouraged to locate near incorporated areas, existing business developments, or along collector & arterial roadways.*
2. *When rezoning is requested, only that portion of land necessary for the contemplated use shall be rezoned.*
3. *The following Eau Claire County zoning districts will be considered for approval within RC areas: C-1 Neighborhood Business District, C-2 General Business District, and the C-3 Highway Business District.*

FARMLAND PRESERVATION PLAN:

The property is excluded from the Farmland Preservation Plan Map. The property owners are not eligible to claim farmland preservation tax credits on the property.

ANALYSIS

When rezoning land, a finding should be made that the purpose of the proposed zoning district and the uses that are allowed in that district are appropriate for the location and that the rezoning will uphold the purpose of the zoning ordinance. A finding should also be made that the rezone is consistent with the County's Comprehensive Plan.

Town Board Action: The Washington Town Board will consider this rezoning petition on May 21, 2020.

The rezoning petition has been evaluated by County Staff for consistency with the purpose of the C-2 District and the uses allowed in the district. The request is consistent with the purpose of the zoning code based on the following findings:

- The proposed rezoning is consistent with the intent and purpose of the Eau Claire County Future Land Use plan.
- Existing uses in the area include highway businesses (offices, auto repair and restoration, etc.), single-family residential, and woodlands
- Zoning in the area is predominantly C-3 (Highway Business) and RH (Rural Homes), with C-2 (General Business) adjacent to the south.
- Context-sensitive site design and adequate buffering and screening will be essential to mitigate adverse impacts (primarily noise and light) of the commercial development to residential uses to the east. The specific methods of achieving this can be reviewed as part of the Conditional Use Permit (CUP) and permitting processes.

CONCLUSION

The rezone petition has been evaluated for consistency with the following:

- Eau Claire County Comprehensive Plan future land use designation
- Eau Claire County Comprehensive Plan goals, objectives and policies
- Eau Claire County Farmland Preservation Plan
- Eau Claire County Zoning Ordinance, including purpose of the zoning code and allowable uses in the C-2 District. As previously noted, the proposed uses are allowed with a CUP.

In addition, the following factors have also been considered:

- Input of surrounding property owners. No correspondence has been received, to date.

RECOMMENDATION

Staff recommends that the Planning and Development Committee file a recommendation of approval to the County Board for the rezoning petition to rezone 5.95 acres +/- of land from RH (Rural Homes) District to C-2 (General Business) to develop several commercial uses on the property, as described in the attached letter from architect Chad White and described in the attached legal description.

FINDINGS

Findings in Favor:

1. The request is substantially consistent with the goals, objectives, and policies of the Eau Claire County Comprehensive Plan, as required by Section 19.01.020.B of the Eau Claire County Code; and Wisconsin Statutes §66.1001(1)(am) and §66.1001(3)(j), including the intent, description, and policies of the Rural Commercial Future Land Use classification in Section 3.3 of the Eau Claire County Comprehensive Plan and Map 9 (Future Land Use) of the Eau Claire County Comprehensive Plan.
2. Existing uses in the area include highway and general businesses, single-family residential, and woodlands.
3. Zoning in the area is predominantly C-3 (Highway Business) and RH (Rural Homes), with C-2 zoning adjacent to the south of the subject property.
4. The proposed use may be generally compatible with adjacent land use if the intensity of the uses is appropriate to the context of the site, including single-family residential uses adjacent to the east and north. Context-sensitive site design and adequate buffering and screening will be essential to mitigate adverse impacts (primarily noise and light) of the commercial development to residential uses to the east. The Conditional Use Permit review and approval process provides the ability to ensure that these issues are adequately addressed.

Findings Against:

1. The site design as currently depicted does not appear to provide adequate screening and buffering against adjacent single-family residential uses to the north and east of the property, and the traffic circulation on the rear (east side) and north side of the property may have adverse light and noise impacts on adjacent residents if not appropriately screened and buffered.
2. The proposed occupancy and intensity of the development may generate excessive noise, traffic, light, which could adversely impact adjacent residential areas.

4 -AMENDING THE 1982 OFFICIAL ZONING DISTRICT BOUNDARY MAP FOR THE
5 TOWN OF WASHINGTON -

6 The County Board of Supervisors of the County of Eau Claire does ordain as follows:

7
8 **SECTION 1.** That the 1982 Official Zoning District Boundary Map for the Town of
9 Washington, described as follows:

10
11 A parcel of land being part of the North 1/2 of the Northeast 1/4 of the
12 Southeast 1/4; Section 10, Township 26 North, Range 9 West, Town of
13 Washington, Eau Claire County, Wisconsin.

14
15 All lands lying east of Sandstone Road of the following description:

16
17 Commencing Southeast corner thereof, North 132' thence West 881.39' to
18 the East line of Highway 93 thence S21°5'30" E 140.82' to the South line
19 of said North 1/2 thence East 843.38' to the point of beginning except
20 Highway right of way containing 0.33 acres M/L conveyed in Volume
21 1690, Page 42.

22
23 Including all of Lot 1 Certified Survey Map #3179, Volume 17, Pages
24 431-432.

25
26 Said described parcel of land containing 5.95 acres +/-, of land and is
27 subject to the easements and restrictions of record to be reclassified from
28 the RH Rural Homes District and C-3 Highway Business District to the C-
29 2 General Business District.

30
31 **SECTION 2.** Where a certified survey map is required and may alter the above
32 described property description, the official zoning district map for the
33 town shall be automatically amended to reflect the property description of
34 the certified survey map.

35
36
37 **ENACTED:** I hereby certify that the foregoing correctly represents the
38 action taken by the undersigned Committee on, May 26,
39 2020 by a vote of for, against.

40
41
42 _____
43 Planning & Development Committee, Chairperson

44
45 CC

46
47 Dated 26th day of May 2020

48
49 ORDINANCE 20-21/018

Sup. dist. 10-Nancy Coffey

Eau Claire County
Department of Planning and Development
Eau Claire County Courthouse
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703
(715) 839-4741

20-21/019

RECEIVED
APR 27 2020
COUNTY CLERK

Application Accepted:	4/27/2020
Accepted By:	Matt Michels
Receipt Number:	63519
Town Hearing Date:	05/21/2020
Scheduled Hearing Date:	5/26/2020
Application No:	RZN-0009-20
Appl Status:	Pending

Rezoning - County

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: **RH/L3** Proposed Zoning District(s): **C2** Acres to be Rezoned: **5.95**

Part Of The N1/2 Of The Ne1/4 Se1/4, Section 10, T26N, R9W, Town Of Washington, Eau Claire County, Wi

Owner/Applicant Name(s):	Address:	Telephone:
Daniel P & Patricia L Green	(ow) E 6295 EVERGREEN RD ELEVA	715-577-2300(C) 715-833-9001(W)
Kerry J & Deborah K Kjelstad	(ow) 2301 DEERFIELD RD W EAU CLAIRE	715-835-1114(H)
Real Land Surveying	(appl) 1360 INTERNATIONAL DR EAU CLAIRE	715-514-4116(W)

Site Address(es):	Property Description:	Town of Washington	Lot Area:
5911 SANDSTONE RD EAU CLAIRE	Sec 10 Twn 26 Rge 09		2.290 ACRES
6040 SANDSTONE RD EAU CLAIRE			3.660 ACRES
Zoning District(s): RH C3 RH			

Overlay District: Shoreland Flood Plain Airport Wellhead Protection Non-Metallic Mining

Check Applicable

PIN	Alternate No	Parcel No	Legal (partial)
1802422609104100003	024116207000	26.9.10.4-1-D	PRT N 1/2 OF NE-SE; COM SE COR THEREOF, N 132' TN W 881
1802422609104109009	024116206010		LOT 1 CSM 3179 (V17 P431 #1131454) SEE TRANSFER ON D

I certify by my signature that all the information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature _____ Date _____

Check if DATCAP must be notified _____

Check if DNR to Receive Copy _____

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Eau Claire County
Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:	4/27/20
Accepted By:	mm
Receipt Number:	63519
Town Hearing Date:	5/21/20
Scheduled Hearing Date:	5/26/20

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: RH-C3

Proposed Zoning District(s): C2

Acres to be rezoned: 1.7

Property Owner Name: Kerry and Deborah Kjelstad

Phone# (715) 559-4663

Mailing Address: 2301 Deerfield Road W Eau Claire WI 54701

Email Address: Emily Thompson <emily@woodsandwater.com>

RECEIVED

APR 27 2020

COUNTY CLERK

Agent Name: Pete Gartmann

Phone# (715) 514-4116

Mailing Address: 1360 International Drive, Suite 2, Eau Claire, WI 54701

Email Address: pgartmann@rls-aec.com

SITE INFORMATION

Site Address: 5911 Sandstone Road (lands lying east of Sandstone Road)

Property Description: NE ¼ SE ¼ Sec. 10, T 26 N, R 09 W, Town of Washington

Zoning District: RH

Code Section(s):

Overlay District:
Check Applicable

- Shoreland
 Floodplain
 Airport
 Wellhead Protection
 Non-Metallic Mining

Computer #(s):

024 - 116 - 207 - ~~040~~ 000

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

- | | |
|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Complete attached information sheet | <input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application |
| <input checked="" type="checkbox"/> Provide legal description of property to be rezoned | <input checked="" type="checkbox"/> Provide \$595.00 application fee (non-refundable), payable to the Eau Claire County Treasurer (\$525.00 application processing fee and \$70.00 mapping surcharge fee) |

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Deborah Kjelstad

Date April 16, 2020

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

REZONING APPLICATION CHECKLIST

Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

The rezoning procedures and details have been outlined in the rezoning brochure, which is available at the Department of Planning and Development.

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

■ Describe the reason(s) for your rezoning request:

For new owner to build a meeting venue for rent / lease. Existing zoning does not allow for the use

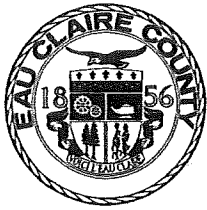
When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

The Town and County comprehensive plan calls for this area to be commercial. Neighboring land to the South C2, West C3, North RH - C3 and East is RH. Proposed use will fit in with the neighboring residential use. Existing Sandstone Road is built as a frontage type use road for commercial use and access. Existing vegetation should provide a buffer to adjoining residential properties. Neighboring Residential use to the east has a separate road (Talmadge) to access the existing homes so traffic from the commercial use will not cause safety concerns.

Rezoning petitions to change the zoning of a parcel from the A-P Agricultural Preservation District to any other District must be based upon findings that consider the following factors:

- 1) The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses;
- 2) The rezoning is consistent with any applicable comprehensive plans;
- 3) The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan; and
- 4) The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

If you are petitioning to rezone land from an A-P District to another district, please describe how the proposed change in zoning will be consistent with the four findings listed here.



Eau Claire County
Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:	4/27/20
Accepted By:	mm
Receipt Number:	63519
Town Hearing Date:	5/21/20
Scheduled Hearing Date:	5/26/20

REZONING APPLICATION

Pursuant to the procedure described in Wisconsin Statutes Section 59.69(5), I hereby petition the Eau Claire County Board of Supervisors to amend the Zoning District from:

Existing Zoning District: RH Proposed Zoning District(s): C2

Acres to be rezoned: 3.66

Property Owner Name: Daniel & Patricia Green Phone# (715) 878-4476

Mailing Address: E6295 Evergreen Road

Email Address: gwhp@aol.com

Agent Name: Pete Gartmann Phone# (715) 514-4116

Mailing Address: 1360 International Drive, Suite 2, Eau Claire, WI 54701

Email Address: pgartmann@rls-aec.com

SITE INFORMATION

Site Address: Lot 1 of CSM 3179

Property Description: NE ¼ SE ¼ Sec. 10, T26 N, R09 W, Town of Washington

Zoning District: RH Code Section(s):

Overlay District: Shoreland Floodplain Airport Wellhead Protection Non-Metallic Mining
 Check Applicable

Computer #(s): 024 - 116 - 206 - 010

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. All information from the checklist must be included.

- | | |
|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Complete attached information sheet | <input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application |
| <input checked="" type="checkbox"/> Provide legal description of property to be rezoned | <input checked="" type="checkbox"/> Provide \$595.00 application fee (non-refundable), payable to the Eau Claire County Treasurer (\$525.00 application processing fee and \$70.00 mapping surcharge fee) |

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature *Daniel & Patricia Green* Date 2-27-2020

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

REZONING APPLICATION CHECKLIST

Applications are due by Tuesday at 12:00 PM three weeks prior to the Committee on Planning and Development meeting. The application must include the items listed below. After a preliminary review, additional information may be needed. A hearing will not be scheduled until the application is deemed complete. Applications are considered complete when all materials and associated fees are received and approved by staff.

Required Application Items:

- Application must be signed by the property owner(s)
- A legal description of land and address of land to be rezoned
- Complete the attached supplemental rezoning information sheet
 - Describe the reason for the request
 - Describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance
 - Explain and justify why this particular property is under consideration for rezoning
 - For rezoning requests from A-P to any zoning district other than the AR district must consider the factors in Section 18.32.055 A. – D.
 - For rezoning requests from the A-P to the AR zoning district must consider the factors in Section 18.06.050 A. – D.
 - For rezoning requests out of the Shoreland-wetland district must consider Section 18.19.100 B

The rezoning procedures and details have been outlined in the rezoning brochure, which is available at the Department of Planning and Development.

SUPPLEMENTAL INFORMATION FOR A REZONING PETITION

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

■ Describe the reason(s) for your rezoning request:

For new owner to build a meeting venue /event center for rent / lease. Existing zoning does not allow for the use

When evaluating a rezoning petition, staff from the Eau Claire County Department of Planning and Development consider whether the purpose of the proposed zoning district and the uses allowed in the district are appropriate for the selected location. Staff also considers whether the change in zoning will uphold the purpose of the zoning ordinance, which is to separate incompatible land uses from one another, to maintain public health and safety, to protect and conserve natural resources, to prevent overcrowding, to preserve property values, and to maintain the general welfare of the citizens. Please describe how the proposed zoning district and the uses allowed in that district are appropriate for the selected location, and how the proposed change in zoning will uphold the purpose of the zoning ordinance.

The Town and County comprehensive plan calls for this area to be commercial. Neighboring land to the South C2, West C3, North RH - C3 and East is RH. Proposed use will fit in with the neighboring residential use. Existing Sandstone Road is built as a frontage type use road for commercial use and access. Existing vegetation should provide a buffer to adjoining residential properties. Neighboring Residential use to the east has a separate road (Talmadge) to access the existing homes so traffic from the commercial use will not cause safety concerns.

Rezoning petitions to change the zoning of a parcel from the A-P Agricultural Preservation District to any other District must be based upon findings that consider the following factors:

- 1) **The land is better suited for a use not allowed in the A-P Agricultural Preservation zoning district based on a review of soil types, historical productivity, location, and adjacent land uses;**
- 2) **The rezoning is consistent with any applicable comprehensive plans;**
- 3) **The rezoning is substantially consistent with the certified Eau Claire County Farmland Preservation Plan; and**
- 4) **The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.**

If you are petitioning to rezone land from an A-P District to another district, please describe how the proposed change in zoning will be consistent with the four findings listed here.

RE-ZONE DESCRIPTION:

PART N 1/2 OF NE-SE; SECTION 10, T26N, R9W, TOWN OF WASHINGTON, EAU CLAIRE COUNTY
WISCONSIN

ALL LANDS LYING EAST OF SANDSTONE ROAD OF THE FOLLOWING DESCRIPTION:

COM SE COR THEREOF, N 132' TN W 881.39' TO E LN HWY 93 TN S21*5'30"E 140.82' TO S LN OF SD N
1/2 TN E 843.38' TO POB EX HWY R/W CONT 0.33 AC M/L CONVEYED IN V.1690 PG.42

INCLUDING

ALL OF LOT 1 CERTIFIED SURVEY MAP #3179, VOLUME 17, PAGES 431-432

RE-ZONE SKETCH

VOL. _____ OF CSM, PAGE _____

CERTIFIED SURVEY MAP, No. _____

IN THE NE 1/4 OF THE SE 1/4,
SECTION 10, T26N, R09W,
TOWN OF WASHINGTON, EAU CLAIRE COUNTY,
WISCONSIN

INCLUDING ALL OF LOT 1 CERTIFIED SURVEY MAP #3179, VOLUME 17
OF CERTIFIED SURVEY MAPS, PAGES 431-432

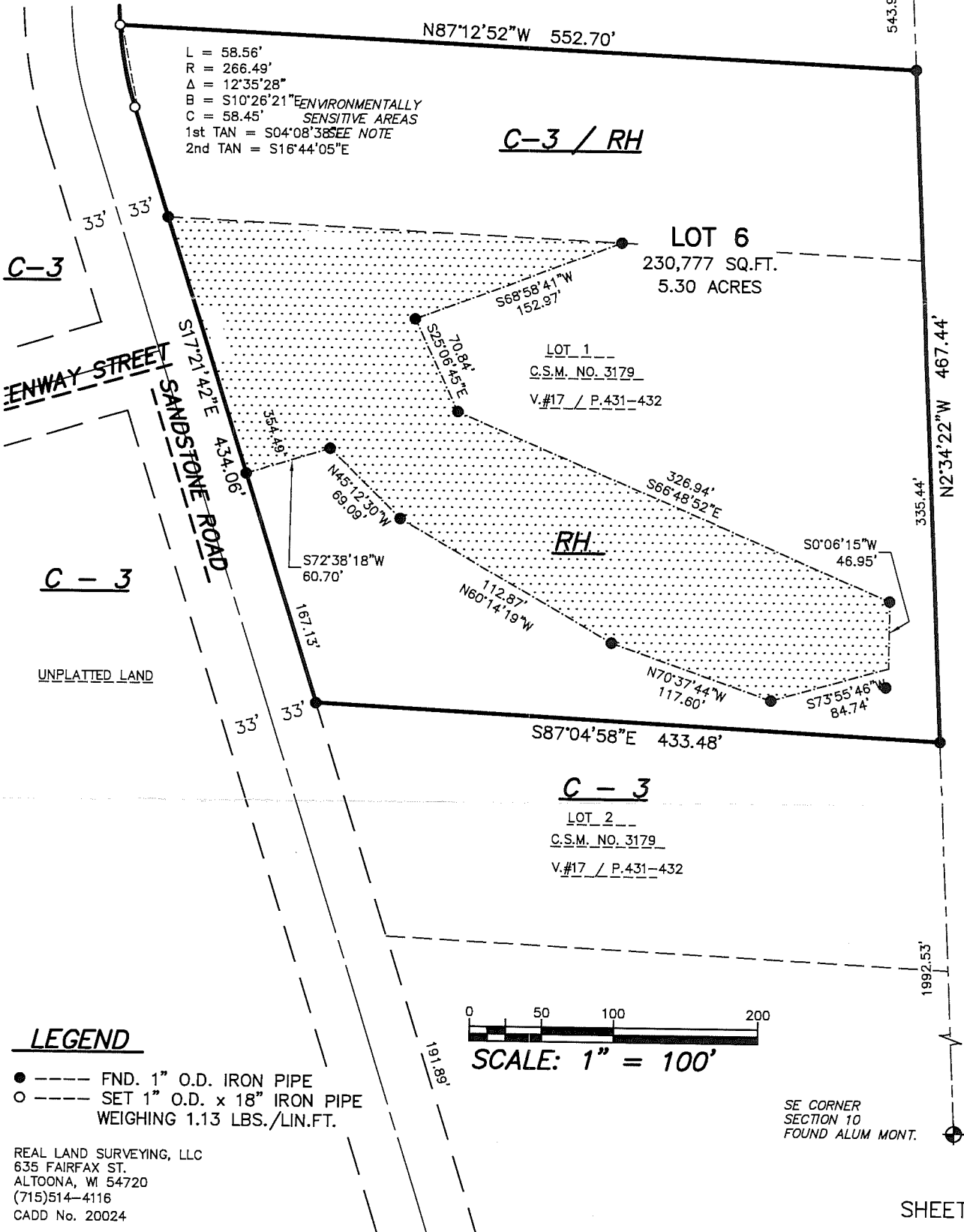
ENVIRONMENTALLY SENSITIVE AREAS NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY, SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY ALLOWED UNDER ANY OF THE FOLLOWING:
- TITLE 17
- TITLE 18

SURVEY PREPARED FOR:
SWEET LEGACY RENTALS
LARRY HURT

VOLD'S SUBDIVISION RH

E 1/4 CORNER
SECTION 10
FOUND BRASS CAP MONT.

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE 1/4, SEC. 10 ASSUMED BEARING OF S.02°34'22"E.



TRILLIUM ESTATES

RH

Legend

- 700' Buffer
- Subject Parcels
- Parcels in Buffer
- Civil Divisions
- Parcels



1 inch = 400 feet

FirstName	LastName	Address	City	State	Zip
	ARROWHEAD PROPERTIES LLC	3502 OAKWOOD HILLS PKWY STE B	EAU CLAIRE	WI	54701
	BARKS AND RECREATION LLC	5775 FRIEDECK RD	EAU CLAIRE	WI	54701-9736
DANIEL	BAUMANN	4014 TALMADGE RD	EAU CLAIRE	WI	54701-2737
JEFFREY	BERGEMAN	3719 VOLD CT	EAU CLAIRE	WI	54701-8772
BRIAN	BERGMAN	3345 EVERGREEN LN	EAU CLAIRE	WI	54701-5912
MATTHEW	CASEY	3706 VOLD CT	EAU CLAIRE	WI	54701-8772
	CMJM PROPERTIES LLC	9305 MURPHY LN	EAU CLAIRE	WI	54703-9173
	DOWN TO EARTH REAL ESTATE LLC	6025 ARNDT LN	EAU CLAIRE	WI	54701-9742
AMY	DUHR	3747 VOLD CT	EAU CLAIRE	WI	54701-8772
	ELIZABETH A FEIL & DOUGLAS E CHAPMAN LLP	N 48181 THOMPSON RD	ELEVA	WI	54738-9304
MARK	GILBERTSON	703 CLUB VIEW LN	ALTOONA	WI	54720-2216
DANIEL P & PATRICIA L	GREEN	E 6295 EVERGREEN RD	ELEVA	WI	54738-9405
MARY	HALDORSON	3729 VOLD CT	EAU CLAIRE	WI	54701-8772
DANIEL	HELGESON	4070 TALMADGE RD	EAU CLAIRE	WI	54701-2737
	HILLVIEW PROPERTIES LLC	S 11890 HILLVIEW RD	ELEVA	WI	54738-9157
OLADAPO	IGANDAN	4052 TALMADGE RD	EAU CLAIRE	WI	54701
KERRY J & DEBORAH K	KJELSTAD	2301 DEERFIELD RD W	EAU CLAIRE	WI	54701-8969
RHONDA	KOHOUT	3717 VOLD CT	EAU CLAIRE	WI	54701-8772
MAURO	LAI	6007 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
TODD	LEAVITT	1206 AMANDA CT	EAU CLAIRE	WI	54703-5071
RICHARD	LUDWIKOSKI	3972 TALMADGE RD	EAU CLAIRE	WI	54701
MATTHEW	LYONS	4030 TALMADGE RD	EAU CLAIRE	WI	54701-2737
MICHAEL	MAGUR	6010 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
ADAM	MILLER	4080 TALMADGE RD	EAU CLAIRE	WI	54701-2737
ROBERT	MILNE	6031 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
	N & P PROPERTIES LLC	629 E MURRAY ST	BOYD	WI	54726-9059
	NORVY PROPERTIES LLC	E 9893 408TH AVE	EAU CLAIRE	WI	54703-9407
MATTHEW	OLMSTEAD	4126 TALMADGE RD	EAU CLAIRE	WI	54701-2812
GOLDEAN	POSS	5809 FRIEDECK RD	EAU CLAIRE	WI	54701-9739
LESLIE	POULOS	3725 VOLD CT	EAU CLAIRE	WI	54701-8772
DEVAEN	RANDALL	3998 TALMADGE RD	EAU CLAIRE	WI	54701
SCOTT	SCHOETTLE	122 E MCKINLEY AVE	FALL CREEK	WI	54742-9650
NATHON	SHILL	3710 VOLD CT	EAU CLAIRE	WI	54701-8772

BURTON H & JUDITH A	SPANGLER	4125 RIDGEDALE CT	EAU CLAIRE	WI	54701-8773
JERRY J & BONITA J	STEINER	4117 RIDGEDALE CT	EAU CLAIRE	WI	54701-8773
	TD SWANSON PROPERTIES	5840 ARNDT LN	EAU CLAIRE	WI	54701
	TOWN OF WASHINGTON	5750 OLD TOWN HALL RD	EAU CLAIRE	WI	54701-8948
	TY A & MAREN A BERNICKE TRUST	4129 TALMADGE RD	EAU CLAIRE	WI	54701-2812
	VECTOR PARTNERS LLC	3653 GREENWAY ST	EAU CLAIRE	WI	54701-5148
MICHAEL J & JACQUELINE M	VOLD	3742 VOLD CT	EAU CLAIRE	WI	54701-8772
WILLIAM	WEICH	5848 ALBRIGHT CT	EAU CLAIRE	WI	54701-5045
	WWB LLC	5890 ARNDT LN	EAU CLAIRE	WI	54701

CONDITIONAL USE PERMIT NUMBER: CUP-0010-20

COMPUTER NUMBERS: 024-1162-06-010, 024-1162-07-000

PUBLIC HEARING DATE: May 26, 2020

STAFF CONTACT: Jared Grande, Land Use Manager

OWNERS: Daniel & Patricia Green, E 6295 Evergreen Rd., Eleva, WI 54738
Kerry & Deborah Kjelstad, 2301 Deerfield Rd, Eau Claire, WI 54701

AGENT: Eau Claire Design Co., 1106 Mondovi Rd, Eau Claire, 54703

REQUEST: Planned Unit Development for multiple commercial buildings and uses in the proposed C-2 General Business District including: Event Center, Café and Market building, Rental/Storage, Honeymoon Suite Duplex, and Tree House.

LOCATION: East side of Sandstone Road at the eastern terminus of Greenway Street

LEGAL DESCRIPTION: Part of the North ½ of the Northeast ¼ of the Southeast ¼ of Section 10, Township 26 North, Range 9 West, and Lot 1 CSM 3179 (Volume 17 Page 431) Town of Washington, Eau Claire County.

SUMMARY

The request is for a conditional use permit (CUP) for a planned unit development (PUD) for multiple commercial buildings and uses in the proposed C-2 General Business District including: Event Center, Café and Market building, Rental/Storage, Honeymoon Suite Duplex, and Tree House.

BACKGROUND

The proposal is being submitted in conjunction with a rezone application that will be heard at the same meetings; the Town of Washington town board and Committee on Planning and Development (P&D). The proposal is situated on two separate parcels (one certified survey map and the other meets and bounds description) that is anticipated to be reconfigured into one lot through certified survey map.

The Event Center, Café and Market Building is where the essential business(es) will be held with a maximum occupancy of 468. The building will serve two separate/primary tenant spaces (Event Center and Market) with ancillary spaces and uses to support (Pre-function space, bar, coat room, restrooms, storage, and Bride and Groom's Suites, café, kitchen, and Alta Viola's); an outdoor event space with seating on the west side of the building would allow up to 300 guests and will be used for events similar to the indoor event space (only one large event will occur at one time and this event will have access to both the interior and outdoor event spaces). The Event Center primary use is wedding ceremonies but would allow other gathering(s) and events of up to 300 guests (282 guests comfortably). The Market space primary use is retail home goods and gift boutique (occupancy of 26), but the Café (occupancy of 80) and Alta Viola's (occupancy of 50) offer additional service(s) with up to 156 guests. Any potential live music events will be held indoors and not in the outdoor event space. The upper and lower levels are not areas available to rent/provide services and the owners will only have access.

The Rental/Storage building located on the northeast corner of the site is not intended to be staffed full time. The building will house wedding rental furniture and decorations with access via overhead (one door) and service door (one door) to customers; it is unclear if the rented items are used for events. The

labeled equipment storage room houses items to maintain the property with restroom and utility sink, all available to staff only.

The Honeymoon Suite Duplex building is located at the south entrance to the site containing two units supporting 6-8 occupants per unit. One unit shall be owner occupied will be used as a short-term rental primarily for wedding guests or post wedding honeymoon suite (there is a potential use as an Airbnb). The building has multiple potential uses including AirBnb, owner occupied, and long-term rental and would be licensed as a Tourist Rooming house.

The Tree House building has no proposed drawings/designs at this time but is intended for overnight rental for honeymoons or anniversaries with potential as an AirBnb. It would have an open studio concept and be built on/around an existing tree with access via walkway/ramp to the southwest corner of the Event Center, Café, and Market Building.

The narrative requests a maximum of two monument signs with locations identified on sheet AS1 Site Plan complying with requirements in section 18.26.020 (E) of the county code. Building signage is considered in the request with no drawings/renderings being proposed at this time. The maximum area for each monument sign is 75 square feet and the height of each sign will not exceed 12 feet above adjacent grade; sign locations are subject to slight adjustment. All signage shall meet Chapter 18.26 of the county code.

Parking is outlined on sheet 5 of 6 in the narrative and is broken down by each proposed building. The applicant references Chapter 18.25 of the county code with reference to the schedule to the associated proposed uses. The grand total of parking stalls required per the applicant is 131 stalls with 138 stalls being provided (the outdoor event center parking calculations are similar for the indoor event center, but the site does not account for parking with both areas having an event).

The application materials include a narrative describing in greater detail the proposed uses and how they function, architectural drawings including floor plan and building elevations for the Event Center/Café/Market building (rental storage and honeymoon duplex include only floor plan, no plans for the Tree House were provided; the applicant indicates structures without building elevations will be similar in appearance, color, design features and character to the larger building exterior elevations), site plan(s), engineered plans including: existing conditions and demolition plan, overall site plan, building site plan, utility plan, landscape plan, grading plan, and erosion control plan. The site plan(s) identifies two access points into the property along with septic location, storm water features and proposed parking locations. The applicant noted, "All building drawings are subject to slight modification as construction estimates have not yet be acquired for this project. But the proposed uses of the buildings will not change, and the building sizes will only be reduced (not increased) as part of any plan changes. In other words, these drawings are the maximum extent of what the Owner would propose."

SITE CHARACTERISTICS:

- The property is undeveloped
- The property is heavily wooded
- An above-ground power line runs east-west through the southern portion of the northerly parcel to be rezoned
- The property contains several areas of steep slopes
- The proposed development is off a frontage road/intersection (Sandstone Road and Greenway Street) at the T-intersection to an arterial road (State Road 93)

CURRENT ZONING: RH Zoning District. The purpose of the R-H District is to “provide for suburban large-lot development with individual on-site water and sewage disposal facilities.” Minimum lot size in the RH District is one (1) acre.

ADJACENT ZONING & LAND USES:

	ZONING	LAND USE
North	R-H	Single-Family
West	C-3	Vacant (planned for commercial uses)
South	C-3	Future Commercial Offices
East	R-H	Single-Family

LAND USE PLANS: The Eau Claire County Future and Town of Washington Future Land Use Maps both include the property in the Rural Commercial (RC) planning area.

Rural Commercial (RC)

Intent and Description: The primary intent of this classification is to identify areas suitable for planned commercial development. There are some existing scattered commercial developments throughout the County and these areas are expected to stay in commercial use. The most appropriate commercial uses will be those that serve rural needs and/or are consistent with the existing rural character, e.g. veterinary clinics, blacksmith/woodworking shops, roadside meat or produce businesses, nurseries, or agricultural implement dealers.

APPLICABLE ZONING REGULATIONS

Section 18.01.010 Purpose. This section describes the purpose of the zoning code. Generally, the purpose of the zoning ordinance is as follows: to separate incompatible land uses from one another; to maintain public health and safety; to protect and conserve natural resources; to prevent overcrowding; to preserve property values; and to maintain the general welfare of the citizens.

Section 18.02.020.145 "Planned commercial development" means a lot or tract of land that contains one principal building with two or more uses in a commercial district and which uses share common amenities such as but not limited to parking, loading, storage, and signage.

Section 18.02.020.147 "Planned unit development" means a lot or tract of land containing 2 or more principal buildings or uses developed as a unit where such buildings or uses may be located in relation to each other rather than to a lot line or zoning district boundaries.

Section 18.13.001 Purpose. The C-2 general business district is established to provide an area for retail businesses of a community-wide range.

Section 18.13.030.A. Conditional uses. Planned unit and commercial developments, including shopping centers.

Chapter 18.21 Conditional Uses. Standards for approval of conditional uses: 1) The proposed use is in conformance with the purpose of the zoning district in which it is located; 2) The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted; 3) That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided; 4) Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use; 5) Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance

to neighboring properties will result; 6) Soil conditions are adequate to accommodate the proposed use; 7) Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

Section 18.25.020 Required number of on-site spaces. The required number of parking spaces shall be in accordance with the following schedule: A-S

Section 18.26.020.E. C-2 General Business District. C-2 General Business District. 1. The gross area of all signs shall not exceed 2 times the lineal front footage of the lot. 2. One freestanding sign is allowed and shall not exceed 75 sq. feet. The sign may be in the front yard but not within 10 feet to any other property line. The sign shall not extend into an area between 4 feet and 12 feet nor above 30 feet from final grade. A monument sign may be approved which lies between 4 feet and 12 feet from final grade as a conditional use. The committee may approve a monument sign if it finds that the sign is compatible with the conditions established in 18.26.010 P. 3 and 4. 3. Projecting, wall, and roof signs shall not project more than 48 inches from a building or into a road right-of-way or extend 5 feet above the roof or parapet wall.

Chapter 18.27 Planned Unit Development. The purpose of this chapter is to provide a procedure for the allowance of planned unit developments (PUD) wherein more than one structure or use on a single lot and integrated development of more than one lot as a single tract shall be allowed.

Section 18.27.020.H. The committee may modify the requirements for density, off-street parking and loading, access, and signs. The committee cannot modify the density requirements by more than 25% of the number of lots allowed for the PUD under D.

ANALYSIS: The following is an analysis of the request based upon the standards for approval of conditional use permits:

1. The uses are in conformance with the purpose of the zoning district – *the proposed PUD is allowed as conditional uses per 18.13.030.A. P&D approved Event Center as a conditional use in the C-2 district on February 25, 2020 per 18.03.070 of the county code. Tourist Rooming house is being presented in the request, but 18.30.290 does not permit this activity in the C-2 district.*
2. The use will not be injurious to the use and enjoyment of other properties in the immediate vicinity – *The property is adjacent to a residential subdivision (Trillium Estates to the east) and staff has concerns about conflicts between the two uses (requested CUP and the subdivision). The code requires a 10-foot setback when abutting a residential district; the site plan indicates a 15-foot setback. The narrative indicates a retaining wall and tree plantings proposed between the parking lot and residential properties, but staff questions if that is adequate.*

Vehicles produce both light and noise pollution, and the proposed hours of operation onsite have a maximum allotted time of 8 a.m. to 12 a.m. (midnight). Customers are required to have exited the Event Center, Cafe & Market Building no later than 12 a.m. (midnight), however with the Event Center having a maximum occupancy of 300, customers exiting the site could extend well beyond midnight. The narrative indicates live music is proposed inside only, however if the entry doors and/or windows are open, the Event Center, Cafe & Market Building is approximately 80 feet from the east property line.

Sandstone Road is planned for commercial use according the Town of Washington’s comprehensive plan. Development of commercial uses adjacent to residential uses are capable, with proper planning and protections in place. Staff believes the site has the capability of being developed for commercial use(s), however how the development is being proposed presents challenges and potential conflicts with the two uses (commercial vs. residential).

3. Adequate utilities, access, drainage, and other necessary facilities have been provided – *The applicant shall obtain sanitary, storm water/erosion control, and access permits from the Town of*

Washington prior to construction. Staff does have concerns with traffic congestion near the T-intersection of Greenway Street and Sandstone Road. With the proposed uses onsite having a maximum occupancy of 468, there lacks detail on interior circulation and how traffic will be handled for events. There was not a traffic impact study done or any other traffic study to show/indicate what the impacts. The narrative does not mention any involvement with other agencies/departments/government(s) including, but not limited to the Township Fire Department and/or WisDOT. It is unknown if there should be a turn lane provided off Sandstone for entering either access point and if no turn lane is provided, could traffic back up near Greenway Street and potentially to State Road 93.

4. Adequate off-street parking is provided – *The narrative outlines the required parking spaces and indicates seven additional stalls provided above the required number of parking stalls. The committee has the ability per section 18.27.020.H of the county code to modify off-street parking standards.*

5. Adequate measures have been taken to control nuisance factors – *Please reference standards for approval of conditional use permits #2 above relating to nuisance factors. While the narrative specifies reasons for building location and additional setbacks for parking to address nuisance, staff believes there is inadequate measures in place to combat nuisance factors that may be associated with the proposed uses. There are not quantifiable measures and/or specific information to show/indicate that the residential neighbors will not be greatly impacted by the development.*

6. Soil conditions are adequate to support the use – *There are no indications the soil(s) onsite are not capable of supporting the proposed development. The applicant shall obtain a sanitary and storm water/erosion control permit as part of the development.*

7. Access does not pose traffic congestion or traffic hazards – *The applicant shall obtain access permit(s) from the Town of Washington. With no additional study(s) done for traffic, it is unknown the impacts the development may have; staff is concerned with the close proximity to a T-intersection next to an arterial road (State Road 93). A traffic impact study and follow-up with WisDOT would help clarify the traffic flow and if there is any possible traffic congestion or traffic hazards.*

TOWN BOARD ACTION: The Town of Washington Town Board will meet on May 21, 2020 to provide a recommendation on the conditional use permit request.

STAFF CONCLUSIONS AND RECOMMENDATION: The Committee on Planning and Development's decision to approve or deny the permit must be supported by substantial evidence. Staff has concluded that the proposed PUD will meet some of the standards for conditional uses, but there are standards that have not been adequately addressed. The request is consistent with the requirements in Chapter 18.27 and is consistent with the purpose of the zoning ordinance. Therefore, staff is recommending postponing the decision on the request until the June 9, 2020 P&D meeting so further information can be provided. There are conditions below outlining recommended additional information and if the conditional use permit is approved, subject to the following conditions:

1. The conditional use permit authorizes a planned unit development (PUD) for multiple commercial buildings and uses in the proposed C-2 General Business District.
2. The site plans, floor plans, building elevation drawings, landscape plan, erosion plans, and narrative submitted with the application shall be attached to and made a part of the permit (documents provided by Eau Claire Design Company and Advanced Engineering Concepts). The buildings shall be constructed in accord with the drawings submitted and located on the property as shown on the site plan. Building sizes may be reduced, but location shall not change.
3. The applicant shall obtain all other necessary permits and approvals including, but not limited to, a land use permit, commercial electrical permit, DSPS state approved plans, erosion control and storm water permit, and sanitary permit.
4. All lighting shall be shielded and deflected in such a way that light does not encroach on neighboring parcels.
5. Hours of Operation:

- a. The Event Center and Alta Viola's space; Monday thru Sunday 8 a.m. to 12 a.m. (midnight) with shutdown starting at 11 p.m. All occupants shall exit the building by 12 a.m. (midnight). The outdoor event area; Monday thru Sunday 8 a.m. to 10 p.m.
 - b. The Market, Café, and coffee shop; Monday thru Sunday 7 a.m. to 9 p.m.
 - c. The Rental/Storage building is by appointment only (typical appointments will be between Monday thru Thursday 8 a.m. to 4 p.m. for pick-ups and drop-off of rented items or for viewing of inventory).
 - d. The Tree House building; Monday thru Sunday with hours typical of a residence.
6. The Tree House is approved as part of the request without floor plan or building elevation drawings; should the project move forward, the drawings and details shall be approved administratively as a Minor amendment by the Land Use Manager subject to all local and state regulations.
 7. Items below are additional information staff is recommending relating to postponing the decision on the conditional use request:
 - a. #7 in the staff report analysis, "standards for approval of conditional use permits" requires further information. There is no specific information, quantifiable or otherwise, that indicate the proposed use(s) will not pose traffic congestion or traffic hazards. Staff requests further information be provided to show there is no traffic congestion or traffic hazards which may include a traffic impact study.
 - b. A plan established outlining how interior circulation of traffic will be handled in addition to ingress/egress of the two access points
 - c. #2 in the staff report analysis, "standards for approval of conditional use permits" may require alteration/addition to the site plan/narrative. There is little elevation difference between "retaining wall top elevation" and the existing topography to the east. Increasing the elevation of the retaining wall and/or adding a berm would provide additional solid screening. Staff recommends specifics on the initial height plantings of the trees to provide immediate screening to the east property owners. Alteration to the site providing additional setbacks to the east property line would also provide a greater buffer.
 - d. The application does not specifically detail how section 18.30.200 or 18.25.010.E of the county code has been addressed.
 8. The Honeymoon Suite Duplex Building is not allowed to be permitted as a Tourist Rooming House (including an AirBnb) or Bed and Breakfast or used as such.
 9. Sound shall not exceed 75 dBA at the property lines.
 10. Only one event shall occur at a time between the indoor Event Center space and outdoor event space.
 11. The two properties, computer #'s 024-1162-06-010, 024-1162-07-000 are required to be reconfigured into one lot per section 18.81.035 of the county code following approval of the rezone request and prior to any permit(s) being issued.
 12. The property shall be rezoned to C-2 General Business district and approved by the Eau Claire County Board prior to development of the site. If the petition to rezone is denied, the conditional use permit is void.
 13. Business shall be conducted entirely within the proposed buildings except for planned events in the ceremony space according to the site plans.
 14. No parking is allowed on Sandstone Road. The owners shall follow Town of Washington recommendation(s) for posting/signage.
 15. Parking shall follow the number of stalls indicated on the site plans and narrative provided in the application.
 16. All building drawings are subject to slight modification as construction estimates have not yet be acquired for this project and shall be reviewed and determined by the Land Use Manager. If the proposed Event Center, Café and Market Building is reduced one-third in overall square footage or 33% (initial square footage is 18,500 square feet), it shall be considered a substantial change

and follow section 18.21.100 of the county code requiring approval of the committee after a public hearing has been held.

17. Section 18.25.010.H of the county code shall be followed.
18. All signage shall meet the requirements of Chapter 18.26 of the Zoning Code. All new signs shall require the issuance of a land use permit by the Planning Department. Two monument signs are included as part of the PUD, the maximum area for each sign is 75 square feet with a maximum height of 12 feet from grade. Sign locations are allowed slight adjustment as a Minor amendment.
19. The applicant shall notify the Land Use Manager upon completion of the project so staff can verify compliance with the terms of this approval.
20. The Land Use Manager can approve minor alterations from the terms of the permit. A major change requires the approval of the committee at a public hearing.
21. The owners shall allow staff from the Department to enter the property at reasonable times to inspect the premises for compliance with the conditions of this permit.
22. The permit is subject to Sections 18.21.080 to 18.21.100 of the Zoning Code. These provisions establish when a conditional use permit lapses, the conditions under which it can be revoked, and when a CUP expires due to the abandonment of a use.

District # 10 : Coffey

Eau Claire County
Department of Planning and Development
Eau Claire County Courthouse
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703
(715) 839-4741

Application Accepted:	5/5/2020
Accepted By:	Jared Grande
Receipt Number:	63580
Town Hearing Date:	5/21/2020
Scheduled Hearing Date:	5/26/2020
Application No:	CUP-0010-20
Appl Status:	Pending

Conditional Use Permit - County

Owner/Applicant Name(s): Eau Claire Design Co. Daniel P & Patricia L Green	Address: (appl) 1106 MONDOVI RD # 5 EAU CLAIRE (ow) E 6295 EVERGREEN RD ELEVA	Telephone: 715-456-6791(C) 715-715-8295(C) 715-829-5935(W)
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Site Address(es): 5911 SANDSTONE RD EAU CLAIRE	6040 SANDSTONE RD EAU CLAIRE	
Property Description: Sec 10 Twn 26 Rge 09	Town of Washington	Lot Area: 2.290 ACRES 3.660 ACRES
Zoning District(s): RH C3 RH		

Overlay District: Check Applicable	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Flood Plain	<input type="checkbox"/> Airport	<input type="checkbox"/> Wellhead Protection	<input type="checkbox"/> Non-Metallic Mining
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PIN 1802422609104100003 1802422609104109009	Alternate No 024116207000 024116206010	Parcel No 26.9.10.4-1-D	Legal (partial) PRT N 1/2 OF NE-SE; COM SE COR THEREOF, N 132' TN W 881 LOT 1 CSM 3179 (V17 P431 #1131454) SEE TRANSFER ON DI
----------------------------------------------------------	-----------------------------------------------------	-----------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------

General Description: Type: Planned unit development Description of Proposed Use: PLANNED UNIT DEVELOPMENT FOR MULTIPLE COMMERCIAL BUILDINGS AND USES IN THE PROPOSED C-2 NEIGHBORHOOD BUSINESS DISTRICT INCLUDING: EVENT CENTER, CAFE AND MARKET BUILDING, RENTAL/STORAGE, HONEYMOON SUITE DUPLEX, AND TREE HOUSE.	Conditional Use Contract: No Structure Check: Yes
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------

I certify by my signature that all the information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature See original Application Date 5/5/20
Check if DATCAP must be notified _____ Check if DNR to Receive Copy _____

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.



Eau Claire County
Department of Planning and Development
 Eau Claire County Courthouse
 721 Oxford Avenue, Room 3344
 Eau Claire, Wisconsin 54703
 (715) 839-4741

Application Accepted:	
Accepted By:	
Receipt Number:	
Town Hearing Date:	
Scheduled Hearing Date:	

CONDITIONAL USE PERMIT APPLICATION

UNDER CONTRACT TO PURCHASE: LARRY & TAMMY HURT

Property Owner Name: <u>DEBORAH & JERRY KJELSTAD, DAN & PATRICIA GREEN</u>	Phone# <u>LARRY CELL: 715-829-5935</u>
Mailing Address: <u>3031 N. HASTINGS WAY, EAU CLAIRE WI 54703 (SWEET LEGACY)</u>	
Email Address: <u>Larry.j.hurt@gmail.com</u>	

Agent Name: <u>CHAD WHITE - ARCHITECT W/ THE EAU CLAIRE DESIGN CO.</u>	Phone# <u>715-456-6791</u>
Mailing Address: <u>1106 MONDOVI RD., EAU CLAIRE WI 54701</u>	
Email Address: <u>chad@designeauclaire.com</u>	

SITE INFORMATION

Site Address: <u>LOT #1 OF CSM 3179 & ADJACENT LOT TO THE NORTH</u>
Property Description: _____ % _____ % Sec. <u>10</u> , T <u>26</u> N, R <u>09</u> W, Town of <u>WASHINGTON</u>
Zoning District: <u>RH - RURAL HOME</u> Code Section(s): <u>TITLE 18: CHAPTERS 18.13, 18.14, 18.21, 18.22, 18.25, 18.26, 18.27, 18.30</u>
Overlay District: <input type="checkbox"/> Shoreland <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Wellhead Protection <input type="checkbox"/> Non-Metallic Mining
Computer #(s): <u>024 - 116 - 206 - 010</u> _____ - _____ - _____ - _____
<u>024 - 116 - 207 - 000</u> _____ - _____ - _____ - _____

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determine if all necessary information has been provided. Applications are due by 12:00 PM of the Tuesday three weeks prior to the Planning and Development Committee meeting. All information from the checklist below must be included.

<input checked="" type="checkbox"/> Complete attached information sheet	<input checked="" type="checkbox"/> Site Plan Drawn to Scale	<input checked="" type="checkbox"/> Contact the Town to coordinate a recommendation on the application	<input checked="" type="checkbox"/> Provide \$525.00 application fee (non-refundable), payable to the Eau Claire County Treasurer
-------------------------------------------------------------------------	--------------------------------------------------------------	--------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I give permission for the staff of the Eau Claire County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the public hearing process. I further agree to withdraw this application if substantive false or incorrect information has been included.

Owner/Agent Signature Date 5-4-2020

NOTICE: PERMIT FEES DOUBLE WHEN WORK BEGINS PRIOR TO ISSUANCE OF PERMITS & APPROVALS.

At the public hearing, the applicant may appear in person or through an agent or an attorney of his/her choice. The applicant/agent/attorney may present testimony, evidence and arguments in support of the application. All site plans, pictures, etc. become the property of the Department, and will remain in the file.

The Committee on Planning and Development has the authority to grant conditional use permit only when the standards are met. The conditional use permit standards are located in Section 18.21.060 of the Eau Claire County Code. Those standards are as follows:

- A. The proposed use is in conformance with the purpose of the zoning district in which it is located;
- B. The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted;
- C. That adequate utilities, access roads, drainage and other necessary facilities have been or are being provided;
- D. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use;
- E. Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result;
- F. Soil conditions are adequate to accommodate the proposed use;
- G. Proper facilities and access points are provided which would eliminate any traffic congestion or hazard which may result from the proposed use.

In order to process your application as quickly as possible, please fill in all of the sections below that are applicable to your request, and attach all appropriate maps or plans described below that are relevant to your request.

WRITTEN DESCRIPTION OF THE PROPOSED USE:

General description of the use (home occupation, accessory structure in excess of 1,200 square feet, filling in a floodplain, non-metallic mining, or any other listed conditional use in zoning districts).

- SEE ENCLOSED COVER LETTER.

IF THE PROPOSED USE INVOLVED A BUSINESS ACTIVITY, DESCRIBE THE PROPERTY

Description of the type of business activity:

- SEE ENCLOSED COVER LETTER.

Equipment used in the business activity:

1)

Days and hours of operation:

Number of employees:

Nuisance abatement measures that will be implemented:

Noise abatement measures:

Vibration abatement measures:

Dust control measures:

Measures to control fumes or odors:

Visual screening measures (plants, fences, walls, etc.)

- SEE ENCLOSED COVER LETTER.

Exterior appearance of any structure, including a description of the building materials used, the height of eaves, the color of the structure, etc. (required for conditional use permit applications for accessory structures in excess of 1,200 square feet)

Any proposed excavation or fill, the amount of material that will be mined in a non-metallic mining operation, the amount of material that will be stockpiled, etc.

→ - SEE ENCLOSED COVER LETTER & DRAWINGS.

Other features or characteristics (signs, fences, outdoor display areas, etc.)

SCALED SITE PLAN

<input checked="" type="checkbox"/> Show parcel and building dimensions of all existing and proposed structures	<input checked="" type="checkbox"/> Landscape and screening plans
<input checked="" type="checkbox"/> Show all signs, fences and other features that may be regulated by zoning	<input checked="" type="checkbox"/> Show the well and septic system
<input checked="" type="checkbox"/> Site access, driveway, and nearest road (labeled)	<input checked="" type="checkbox"/> Parking areas with spaces
<input checked="" type="checkbox"/> Drainage plans including the erosion control plan	<input checked="" type="checkbox"/> Show all navigable water ways, wetlands, floodplains, slopes in excess of 20%, and any other unique limiting condition of the property
<input checked="" type="checkbox"/> The layout of the use within the structure; if the use only occupies part of the structure, the floor plan should illustrate only the layout of that part of the structure occupied by the use and any access to the use through halls, doorways, etc.	
<input checked="" type="checkbox"/> The location of any equipment that will be used N/A	

FOR ALL NON-AGRICULTURAL ACCESSORY STRUCTURES

- Show floor plan, including attics
- Show scaled building elevations
- Show color scheme



Tuesday, May 5, 2020

Attn: Mr. Jared Grande, Land Use Manager
Eau Claire County - Department of Planning & Development
721 Oxford Avenue, Room 3344
Eau Claire, Wisconsin 54703

Dear Mr. Grande,

Enclosed, please find a Planned Unit Development (Conditional Use Permit) Application for proposed new buildings which are to be located on two lots (lot #1 of CSM 3179 with parking on the lot adjacent and the lot directly north of Lot #1) near the intersection of Greenway Street and Sandstone Road in the Town of Washington. Along with the application you will find a check for \$525.00 and one set of 11"x17" (1/2 scale) plans which include the civil drawings (which include a landscape drawing) and preliminary architectural drawings for the project. This information is provided in anticipation of being considered at the May 21, 2019 Town of Washington meeting and subsequent May 26, 2019 Eau Claire County Planning & Development Committee meeting.

Prior to the commencement of construction all necessary local and state permits and approvals shall be secured including: drive access from the Town of Washington, a land use permit, a commercial electrical permit, an erosion control and stormwater permit from the Planning and Development Department, a commercial building plan approval from DSPS, and a sanitary permit from the Eau Claire County/City Health Department.

All development within sensitive areas (ESA's) according to the final certified survey map will be submitted, reviewed and verified by the Eau Claire County Land Conservation Division. It is anticipated that the two lots will be combined into one parcel via CSM once the CUP approval has been provided per the County Code section 18.81.035.

An easement is in place for the overhead power lines currently crossing the site. Discussions have occurred with the power company and these areas can be used as shown in the proposed site plan drawings.

Below, please find responses to sections of the application listed below in order of appearance within the application:

Written Description of the Proposed Use:

The parcel is a 5.31 acre site consisting of 2 adjacent lots. Both lots are currently zoned RH - Rural Home. A Rezone Application has been submitted in conjunction with this CUP/PUD application for a change to a C-2 Zoning designation. Two drive access points are provided from Sandstone Road to allow for ease of access to the site. Deliveries and loading will occur in the parking area on the north side of the site and all deliveries will occur outside of any scheduled events. Four proposed buildings are shown in the site plan. All buildings and functions will be

owned and operated by the Owner's family and there is no intent to ever subdivide, separate or sell buildings or businesses within the site to anyone outside of a single Owner. The proposed buildings anticipated use descriptions are noted below.

- I. **Event Center, Cafe & Market Building:** This proposed 18,500 s.f. building consists of a 15,500 s.f. main level (sheet A1), 1,500 s.f. basement and 1,500 s.f. upper level (sheet A2).
- Main Level:** The Main Level will house 2 separate/primary tenant spaces. As mentioned above, both spaces will be owned and operated by the building Owner. The enclosed sheet A1 main level floor plan shows a 4,200 s.f. Event Center space which would allow for a maximum of 300 occupants (284 comfortably). The primary use of this space will be for wedding ceremonies, but other uses such as receptions, birthdays, bridal showers, graduation parties, Christmas parties, conferences and music events would also be considered. A Prefunction space, Bar, Coat room, Restrooms, Storage and Bride and Groom's Suites are shown as supporting spaces for the Event Center. A covered Patio space is shown on the West end of the plan and would be used for smaller weather protected outdoor events such as small weddings, receptions, birthdays, etc. The floor plan also shows a Market space which will be a retail home goods and gift boutique. Adjacent to and within the Market is a small 668 s.f. Cafe with 56 seats shown and another 360 s.f. 4 Season Patio with 24 additional seats. The Cafe will be supported by the adjacent Commercial Kitchen and the Pizza and Coffee Bar at the south end of the Market space. Adjacent to the Market/Cafe is a room noted as Alta Viola's. This will be an extension of the cafe as well as a potential small leasable gathering space for smaller wedding receptions, birthday parties, bridal showers and similar types of events. A commercial kitchen space is shown in the floor plan and this space will support both the cafe and the event center as needed. An outdoor event space with seating shown for up to 300 guests is shown on the west side of the building and will be used for events similar to the indoor event space noted above (only one large event will occur at one time and this event will have access to both the interior and outdoor event spaces). Any potential future live music events will not occur outdoors and if/when considered will always be located in the indoor event center space with closed doors to avoid noise concerns to adjacent neighbors. The location and orientation/adjacency of the indoor/outdoor spaces were intentionally designed to allow the building to block noise travel to the adjacent east residential properties and intentional plantings will assist with screening to the north and east property lines (as shown on the landscape plan in the Civil drawing set on sheet 6). Exterior elevations of this building are on sheets A3 and A4. Perspective views of the building are on sheet A5. Exterior building colors are expected to be white with natural stone accents. The exterior design is subject to slight modifications, but the overall design intent will be similar to the current enclosed drawings.
- Upper Level (As shown on sheet A2):** The upper level will consist of a small Owner Studio and Open Office space. The Owner Studio is intended to be a space for the Owner's children to be while the Owner's are facilitating events. It is not intended to be a living space/ apartment and will not have any overnight/sleeping use.
- Lower Level (As shown on sheet A2):** The lower level consists of a mechanical/utility room with any additional space used as overflow storage space.
- A. Business Open Times & Operation Hours:
1. The Event Center and adjacent (west facing) covered patio and Alta Viola's room is planned to be open Monday through Sunday (options for events any day of the

week, but the primary use is for weddings which typically occur late afternoons/ evening on Thursday through Sunday. The hours of operation will be 8am-midnight, with event shutdown starting at 11pm. All occupants will be required to have exited the building by no later than midnight.

2. The Market, Cafe and coffee shop is planned to be open Monday through Sunday and the hours of operation will be from 7am-9pm.

II. **Rental/Storage Building:** This 3,000 s.f. building is located near the Northeast corner of the site as noted on sheet AS1. The floor plan for this building is shown on sheet A6. This building will house wedding rental furniture and decorations. An overhead and service door are shown on the West end of the building for loading/unloading of items. An accessible restroom is provided for employees along with a utility sink for washing returned items. An Equipment Storage room is shown which will house lawn/site maintenance equipment such as lawn mowers, leaf blowers, lawn edgers, paint and building maintenance supplies, etc. The exterior design of this building is not yet developed, but it will be similar in appearance, color, design features and character to the larger building exterior elevations in the enclosed drawing set.

- A. The Rental/Storage building business is planned to be by appointment only (typical appointments will be between Monday and Thursday between the hours of 8am and 4pm for pick-ups and drop-off of rented items or for viewing of inventory. This building will not be staffed full time).

III. **Honeymoon Suite Duplex Building:** This 1,880 s.f. duplex building is shown near the entry access drive on the south side of the lot on sheet AS1. The floor plan for this building is shown on sheet A7. This building will be surrounded by existing mature trees and will be very private from adjacent buildings and sites. The building will contain 2 units which contain 2 bedrooms, a kitchen, restroom and living room per unit and will support 6-8 occupants per unit. One suite will be Owner occupied and the other will be used as a short term rental, primarily for out of town wedding guests or post wedding honeymoon suite as well as a potential AirBnb. However, the Owner is considering the potential for either of the units to be a long term rentals managed by the building Owner. Per 18.13.020, Owner-occupied living quarters are permitted as an accessory use. Duplexes and multi-family dwellings are considered a conditional use per 18.13.030. And we are requesting use as a Tourist Rooming house per section 18.30.290. Due to the isolated nature of this building being the only structure on the area below the steep slope, we feel that this proposed building/use is in line with the overall site development. The exterior design of this building is not yet developed, but it will be similar in appearance, color, design features and character to the larger building exterior elevations in the enclosed drawing set.

- A. The Honeymoon Suite building is planned to be open Monday through Sunday with hours that would be typical of a residence.

IV. **Tree House Building:** This potential future +/-450 s.f. building will be elevated and built on/ around an existing tree with an accessible walkway/ramp from the green space to the southwest of the Event center building. The building would be an open studio concept for use as an overnight rental for honeymoons or anniversaries and potentially as an AirBnb and will be sized for up to 2 occupants. The design is not yet developed and we are requesting

that should this future project ever move forward, that the drawings and details will be provided to the Land Use Manager for administrative approval.

- A. The Tree House building is planned to be open Monday through Sunday with hours that would be typical of a residence.

Considering the proposed building uses, potential occupancy days and hours of operation, it is possible that multiple building uses may occur simultaneously within the larger building. For this purpose, we have provided parking to accommodate the maximum stalls required per the County zoning code requirements as noted below in the parking description section of this narrative. The maximum occupancy of the Event center (300), Bride and groom suites (8-12), Alta Viola's (50), the Market (26) and Cafe (80 seats) provide a max building occupancy of 468.

An appropriately sized and designed septic system is planned, and the location is noted in the enclosed site plans. Impervious area calculations are noted within the civil drawings along with proposed retaining and proposed retention pond locations.

Description of other features or characteristics that may be subject to zoning regulations:

As noted above, both lots are currently zoned RH - Rural Home. A Rezoning Application for a change of the zoning designation from RH to C-2, General Business District has been submitted by Pete Gartmann of Real Land Surveying (the Owner's Agent). The uses being proposed include the Permitted Uses of a 'Gift Novelty or Souvenir Store' and 'Restaurant' as well as the Conditional Use of an 'Event Center' and 'Tourist Rooming House'. Each of these uses are permitted or conditional as part of the C-2, General Business District CUP submittal.

The proposed buildings are intended have a residential feel with exterior materials that feature LP Smartside siding and trim (painted white), white painted timbers and stone wainscot and column bases. The proposed roof of the Event Center Building will be a mix of pitched asphalt shingled & standing seam metal roof over the Event Space, Market/Cafe, Vestibule/Entrance and upper level, and a flat roof for the larger central area of the building. Detached structures will have pitched asphalt shingle or metal standing seam roof materials and will match the exterior aesthetic of the main larger building (see enclosed exterior elevation drawings). The maximum roof ridge elevation will be just under 33' above grade. All building drawings are subject to slight modification as construction estimates have not yet be acquired for this project. But the proposed uses of the buildings will not change and the building sizes will only be reduced (not increased) as part of any plan changes. In other words, these drawings are the maximum extent of what the Owner would propose.

The building site, while currently heavily wooded, shall be cleared to the minimum extent necessary to allow for the proposed building and parking. Existing mature trees on the site will remain intact to the extent feasible. The larger event center was intentionally located well beyond the east minimum building setback to create space between the new building and the adjacent residential lots. Also, the parking has been moved an additional 5' from the minimum parking setback to aid in creating some separation from the property line as well. A retaining wall and intentional trees plantings are shown in the landscaping plan to the north and east of the site to screen both the parking lots and also vehicle headlights from the drive entrance and site circulation. Adjacent properties to the West and South are zoned C-3 & C-2 and the Town

and County comprehensive plan calls for this area to commercial. Sandstone Road is built as a frontage road for commercial use to adjacent commercial sites and any increased traffic to the site will not affect the residential sites to the East as they are accessed by a separate road (Talmadge road). Therefore, it seems that the proposed zoning designation and project type is an appropriate fit for this location.

A trash enclosure is proposed to the north of the proposed larger building. It is positioned as such on the lot to be screened from adjacent properties. The trash enclosure shall have the same exterior building materials to mimic the exterior theme for all other buildings on site.

Parking:

Please see the enclosed site plan for the proposed parking plan. Calculations are based on the following table providing intended uses of each building per Chapter 18.25 On-Site Parking & Loading requirements noted in the County Zoning Code:

I. Proposal Event Center/Market/Cafe Building:

A. Event Space:

1. Churches, theaters, community center, auditoriums and similar places of assembly: 1 stall per 5 seats or 1 per 100 s.f.
2. Actual area/seats: 4,260 square feet pr 284 seats = 56.8 (per seat) or 42.8 per s.f. = **57 stalls required.**

B. Alta Viola Space:

1. Churches, theaters, community center, auditoriums and similar places of assembly: 1 stall per 5 seats or 1 per 100 s.f.
2. 594 s.f. = 10 stalls per seat or 5.9 per s.f. = **10 stalls required.**

C. Cafe:

1. Restaurants (except drive-ins), nightclubs, taverns: one stall per 50 fee of floor area, plus 1 stall per employee.
2. Cafe dining area = 668 s.f. / 50 = 13.36
3. Kitchen area = 541 s.f. / 50 = 10.82
4. Coffee/Pizza Bar = 467 s.f. / 50 = 9.34
5. 4 Season Patio = 360 s.f. / 50 = 7.2
6. Total = 40.7 or **41 stalls required.**

D. Market:

1. Retail Stores and service establishments: 1 stall per 200 s.f. of floor are except for furniture, appliance and home improvement products (i.e., carpets, paint, wall paper, etc.) which require one stall per 400 s.f. of floor area.
2. Actual Area = 2,332 s.f. / 200 = 11.7 or **12 stalls required.**

E. Open Office Area:

1. Business or professional offices, medical or dental clinics, animal hospitals, municipal or government buildings, and financial institutions: 1 stall per 300 s.f. of floor area.
2. Actual Area: 667 s.f. / 300 s.f. = 2.3 or **3 stalls required.**

II. Proposed Rental/Storage Building:

- ##### A. Manufacturing and processing plants, warehouses, wholesale establishments, research laboratories and similar uses: 1 stall per 2 employees on the major shift, plus 1 stall for every business vehicle normally kept on premises.
1. Two employees anticipated at most in this area = **2 stalls required.**

III. Proposed Honeymoon Suite:

- A. Single-family dwellings and duplexes: 2 stalls per dwelling unit; multiple-family dwellings: 1.5 stalls per dwelling unit; and elderly multi-family units: 3/4 stall per dwelling unit.
 - 1. 4 Bedrooms provided = **4 stalls required.**

IV. Proposed Tree House:

- A. Single-family dwellings and duplexes: 2 stalls per dwelling unit; multiple-family dwellings: 1.5 stalls per dwelling unit; and elderly multi-family units: 3/4 stall per dwelling unit.
 - 1. 1 bedroom/studio space = **1.5 or 2 stalls required.**

V. Parking Required Grand Total: **131 stalls required.**

VI. Parking provided Grand Total: **138 stalls provided.**

Site Signage:

Building signage will be considered and shall meet the requirements of Chapter 18.26 of the Zoning Code. We are requesting that a maximum of two monument signs be considered for the site as shown on the site plan drawings, each of which will comply with the requirements noted in 18.26.020 (E). A sign is shown at each drive entry access location on Sandstone Road and signage will be applied to the framed arch entry as well as the framed entry at the building walkway. All other signage will be applied to the buildings to meet zoning code requirements. Each sign will utilize materials and colors similar to the proposed buildings. The maximum area for each sign is 75s.f. and the height of each sign will not exceed 12' above adjacent grade. Sign locations are subject to slight adjustment but will meet the setback requirements noted in Chapter 18.26 Sign Regulations which are noted in the Zoning Code.

Stormwater Management:

Impervious area calculations are noted in the Civil drawings on sheet 3 and are based off of the current site layout. Runoff from the site will be collected and conveyed to a series of stormwater management facilities. There will be retention ponds and rain gardens as noted in various locations of the site in the Civil drawings that will treat/infiltrate runoff from the building, drive and parking lot. The stormwater management facilities will meet the requirements of both the WIDNR and Eau Claire County for water quality, detention and infiltration. See the enclosed civil drawings for proposed grading and stormwater management.

If you have any questions or comments, please feel free to contact me at 715.456.6791 or designeauclaire@gmail.com.

Sincerely,



Chad White, Architect

The Eau Claire Design Co.

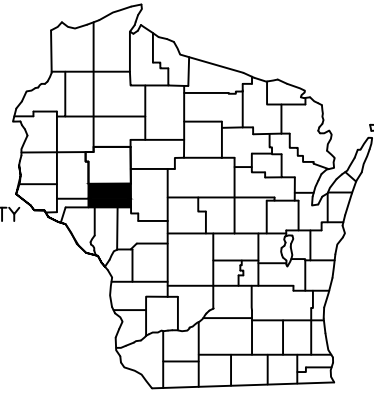
715.456.6791

1106 Mondovi Road | Studio #5 | Eau Claire WI 54701

designeauclaire.com | thepenproject.org

SWEET LEGACY RENTALS LOT 1 SANDSTONE ROAD TOWN OF WASHINGTON EAU CLAIRE COUNTY

EAU CLAIRE COUNTY



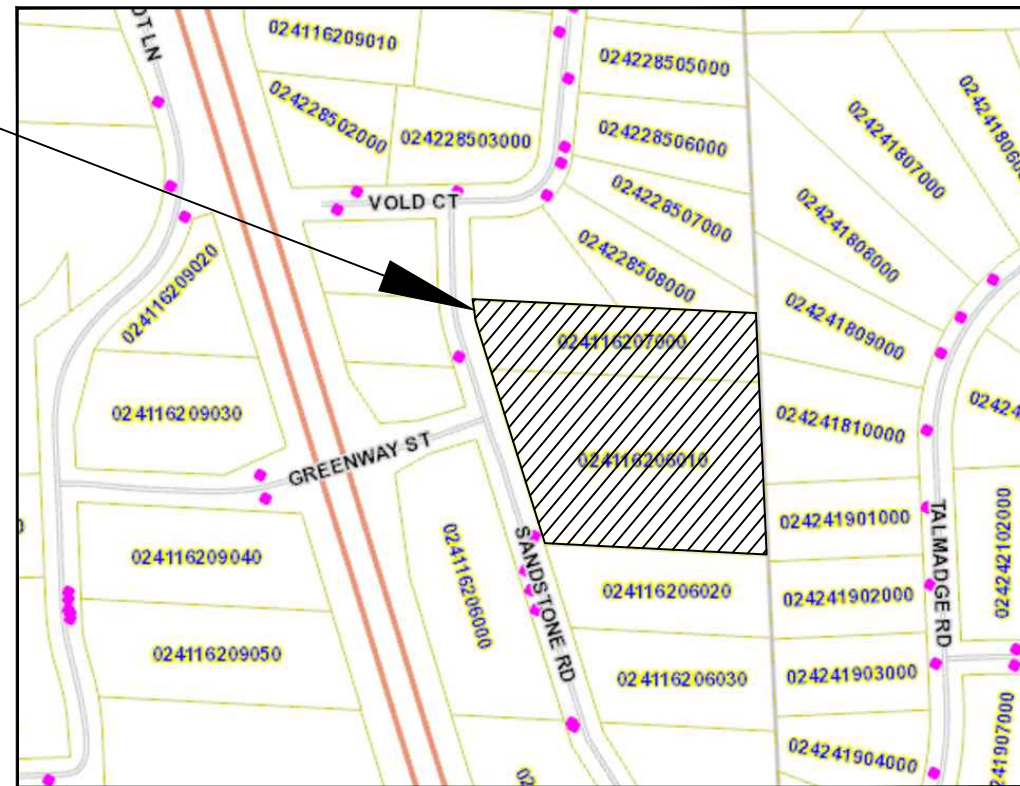
VICINITY MAP



Know what's below.
Call before you dig.

PROJECT LOCATION

CONTACTS	
E.C. COUNTY	ROD ESLINGER – PLANNING & DEVELOPMENT DEPARTMENT DIRECTOR 715.839.4743
E.C.C. LAND CONSERVATION DEPT.	LIZ FAGEN, P.E. 715.839.6206
TOWN OF WASHINGTON	JANELLE HENNING 715.834.3257
ELECTRIC	EAU CLAIRE ENERGY COOPERATIVE ATTN: ARIK ARNEVIK (715) 836-6485
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: JOHN KELSER (715) 737-1431
GAS	XCEL ENERGY: DESIGN SECTION ATTN: BRADY GARDOW (715) 737-1450
TELEPHONE	AT&T ATTN: MARSHA FLATER (715) 839-5813
CABLE	CHARTER COMMUNICATIONS ATTN: CURTIS MOORE (715) 831-8940 ext. 51148



LOCATION MAP

SCHEDULE OF REQUIRED PERMITS		
REQUIRED PERMITS	SUBMITTED	APPROVED
EAU CLAIRE COUNTY CONDITIONAL USE PERMIT		
EAU CLAIRE COUNTY STORM WATER PERMIT		
TOWN OF WASH. DRIVEWAY ACCESS PERMIT		
WIDNR – WRAPP PERMIT		

LEGEND

EXISTING	PROPOSED
	---BENCHMARK
	---CONTROL POINT
	---SIGN
	---CURB STOP
	---WELL
	---HYDRANT
	---GATE VALVE
	---CURB INLET
	---AREA DRAIN
	---SAN MH
	---STORM MH
	---SAN CLEANOUT
	---GAS MANHOLE
	---LIGHT POLE
	---UTILITY POLE
	---GUY WIRE
	---GUY POLE
	---PULL BOX
	---ELEC PED
	---CABLE PED
	---MAILBOX
	---TELE PED
	---IRON PIPE
	---ROW POST
	---REBAR
	---WATER MAIN
	---SANITARY SEWER
	---STORM SEWER
	---OVERHEAD UTILITY
	---TELEPHONE LINE
	---GAS LINE
	---ELECTRIC LINE
	---CABLE TV LINE
	---TREE LINE
	---EXISTING TREES
	---MARSH
	---FENCE LINE
	---WOVEN WIRE FENCE
	---SILT FENCE
	---RETAINING WALL
	---CONTOURS MAJOR
	---CONTOURS MINOR

ABBREVIATIONS:
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
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 TYP=TYPICAL
 W=WATER FITTINGS
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SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE & DEMOLITION PLAN
3	OVERALL SITE PLAN
4	SITE PLAN - BUILDING SPECIFIC
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	GRADING PLAN - 30/60 SCALE
8	EROSION CONTROL PLAN
9	DETAILS

AEC PROJECT #: 20024 PLANS DATED: MAY 2020

ARCHITECT:
 THE EAU CLAIRE DESIGN CO.
 ATTN: CHAD WHITE
 1106 MONDOVI RD. SUITE #5
 EAU CLAIRE, WI 54701
 PHONE: 715.456.6791
 EMAIL: designeauclaire@gmail.com

DEVELOPER:
 LARRY & TAMMY HURT
 2321 FROSTWOODS STREET
 EAU CLAIRE, WI 54703
 PHONE: 715.829.5935
 EMAIL: larry.j.hurt@gmail.com

PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS, LLC.
 ATTN: SEAN BOHAN
 1360 INTERNATIONAL DRIVE, SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715.552.0330
 EMAIL: sbohan@aec.engineering



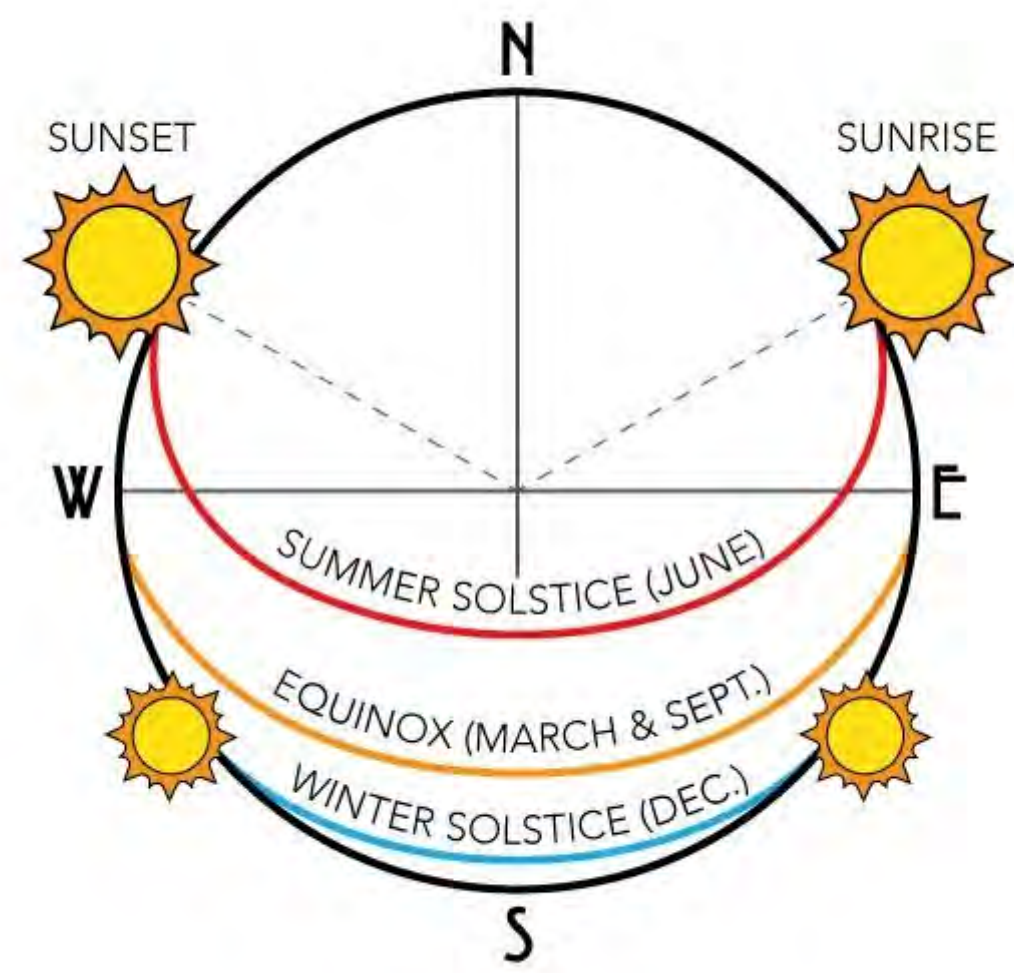
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 EAU CLAIRE, WI 54701
 PH 715-552-0330
 info@aec.engineering
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REVISIONS	MARK	DATE	DESCRIPTION

JOB NO: 05.05.2020
 DATE: CHAD WHITE
 ARCHITECT: ERIC STROJNY
 DRAWN BY: ERIC STROJNY

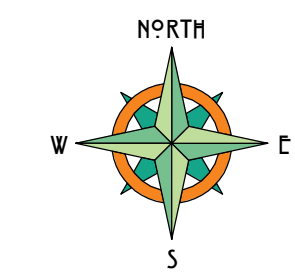
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SPACE LEGEND

- EVENT SPACE
- MARKET
- CAFE
- CIRCULATION
- SUPPORT SPACE/STORAGE
- TR/CHANGING SUITES

BASEMENT = 1,500 SQUARE FEET +/-
FIRST FLOOR = 15,500 SQUARE FEET +/-
SECOND FLOOR = 1,500 SQUARE FEET +/-
TOTAL = 18,500 SQUARE FEET +/-



1 FIRST LEVEL FLOOR PLAN
 A1 1/8" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY PLANS

THE EAU CLAIRE DESIGN COMPANY

1106 MONDOVI ROAD - SUITE #5, EAU CLAIRE, WISCONSIN 54703

SWEET LEGACY
 EAU CLAIRE, WISCONSIN

FLOOR PLAN

A1



1 EAST ELEVATION
A3 1/8" = 1'-0"



2 NORTH EAST ELEVATION
A3 1/8" = 1'-0"

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SWEET LEGACY
EAU CLAIRE, WISCONSIN

EXTERIOR ELEVATIONS
A3



1 NORTH ELEVATION
A4 1/8" = 1'-0"



3 WEST ELEVATION
A4 1/8" = 1'-0"

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THE EAU CLAIRE DESIGN COMPANY

1106 MONDOVI ROAD - SUITE #5, EAU CLAIRE, WISCONSIN 54703

SWEET LEGACY
EAU CLAIRE, WISCONSIN

EXTERIOR ELEVATIONS
A4



1 NORTH EAST 3D VIEW
A5



2 NORTH WEST 3D VIEW
A5



3 SOUTH EAST 3D VIEW
A5

REVISIONS	MARK	DATE	DESCRIPTION

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SWEET LEGACY
EAU CLAIRE, WISCONSIN

EXTERIOR 3D VIEWS

A5

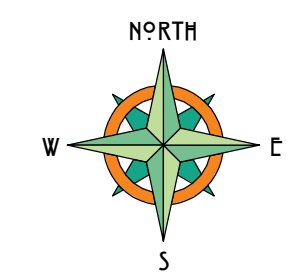
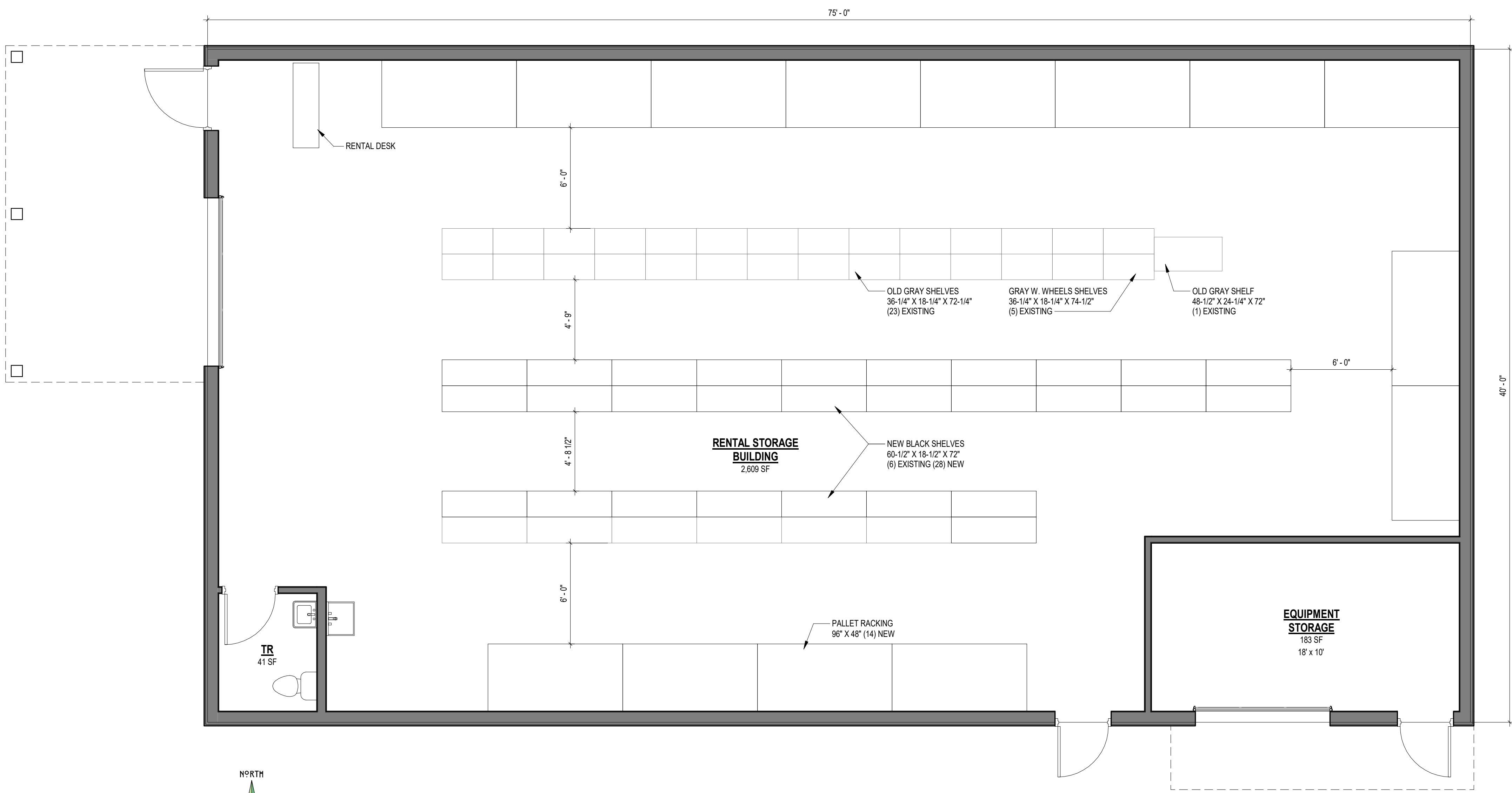
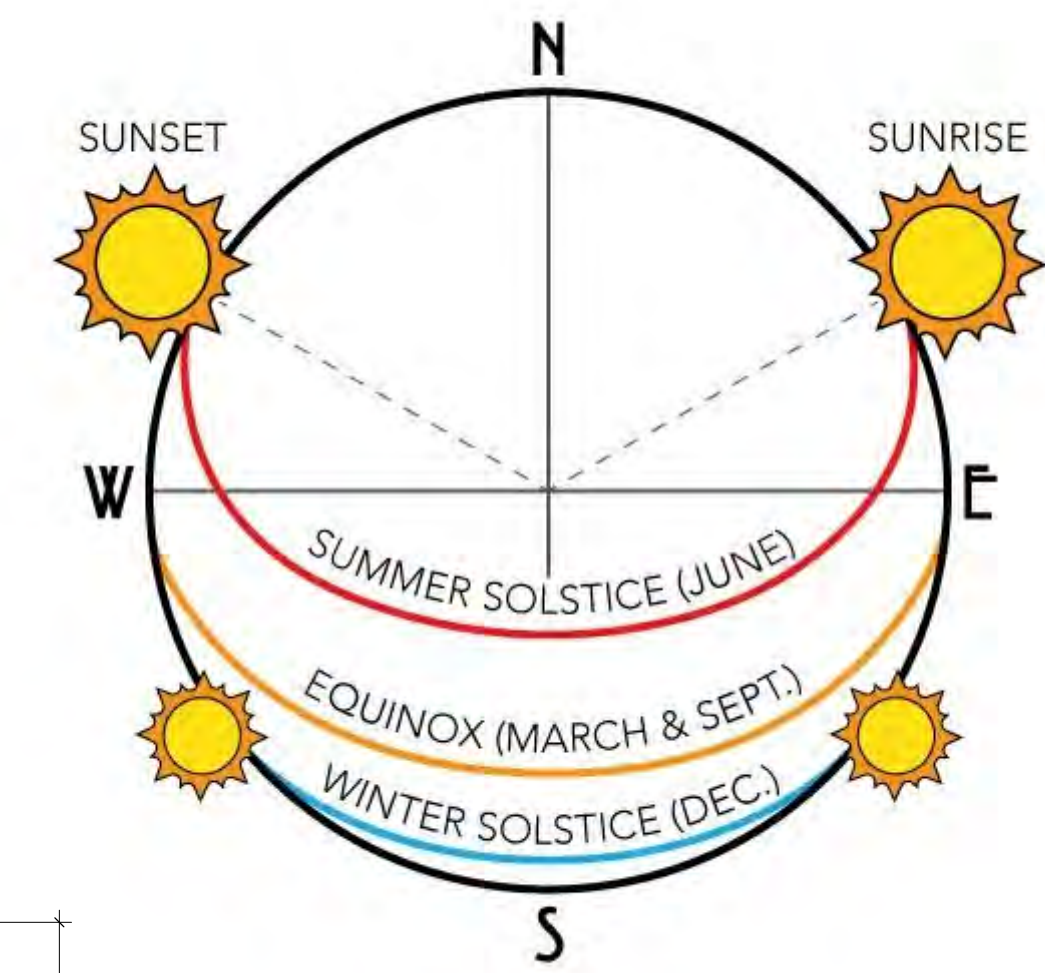


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1 FIRST LEVEL FLOOR PLAN
 A6 1/4" = 1'-0"

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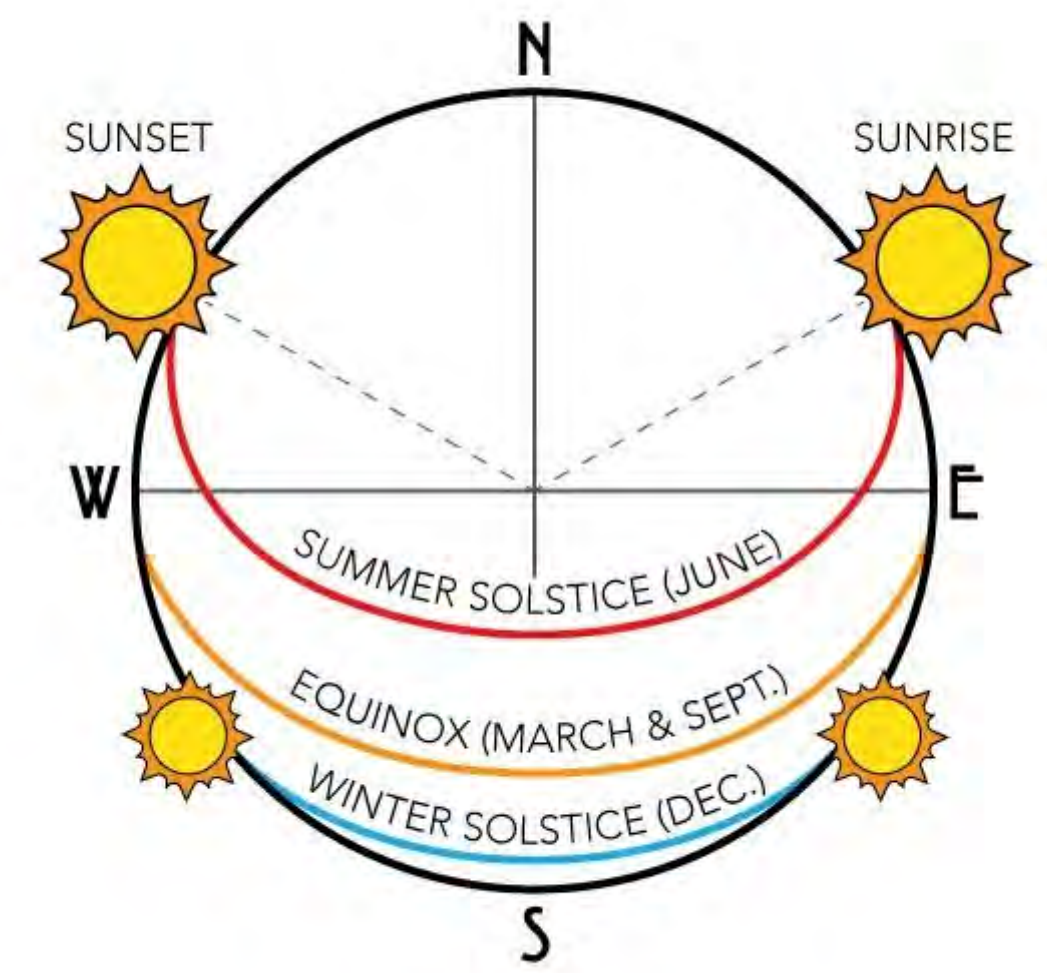
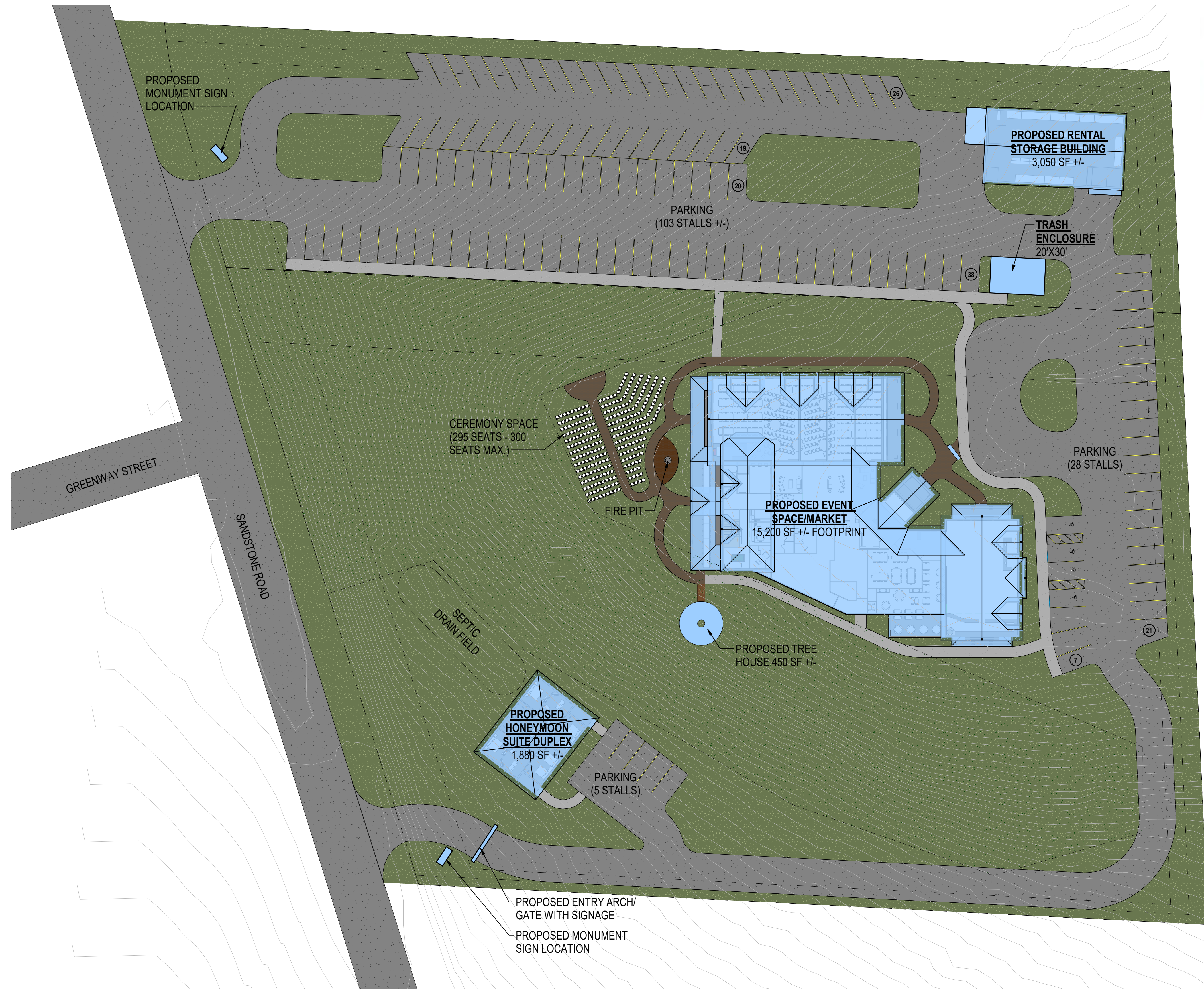
THE EAU CLAIRE DESIGN COMPANY

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SWEET LEGACY - RENTAL STORAGE
 EAU CLAIRE, WISCONSIN

FLOOR PLAN

A6



REVISIONS	MARK	DATE	DESCRIPTION

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 DATE: CHAD WHITE
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ARCHITECTURAL SITE PLAN
 1 AS1
 1" = 30'-0"

NOT FOR CONSTRUCTION - PRELIMINARY PLANS

THE EAU CLAIRE DESIGN COMPANY

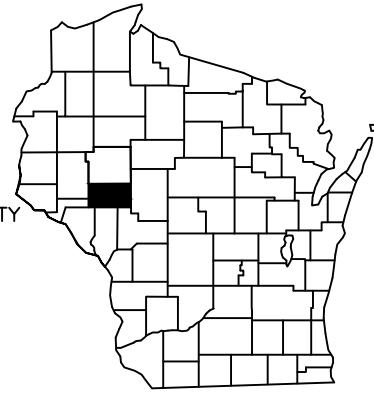
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SWEET LEGACY
 EAU CLAIRE, WISCONSIN

ARCHITECTURAL SITE PLAN
AS1

SWEET LEGACY RENTALS LOT 1 SANDSTONE ROAD TOWN OF WASHINGTON EAU CLAIRE COUNTY

EAU CLAIRE COUNTY



VICINITY MAP

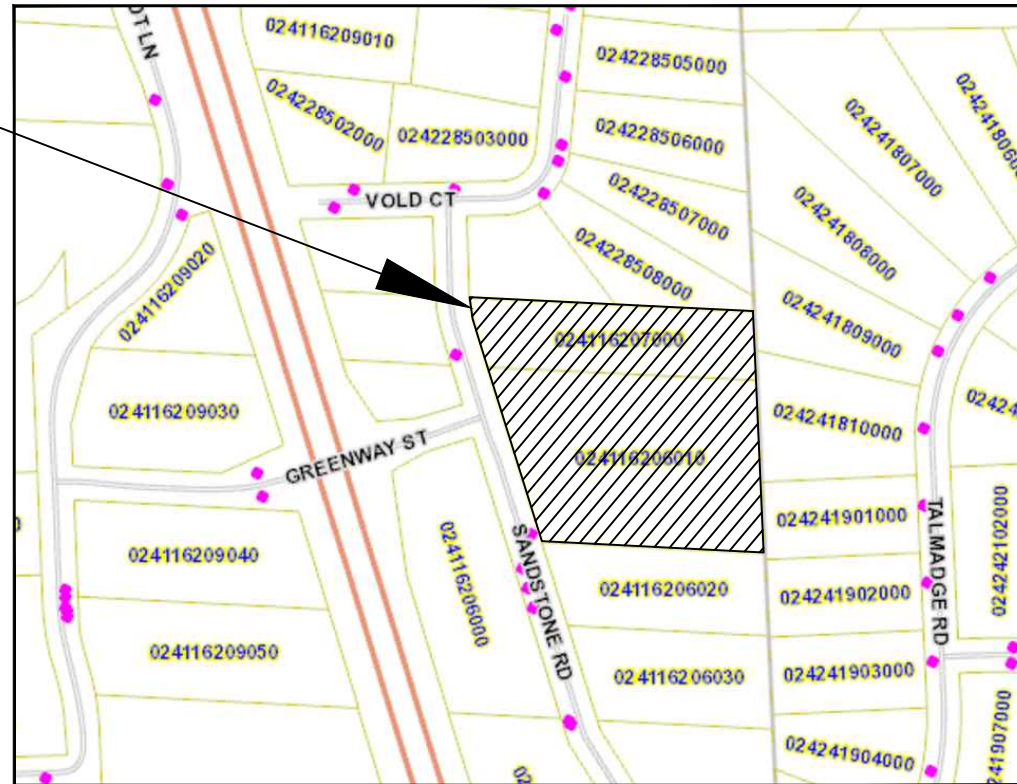


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LOCATION MAP

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REQUIRED PERMITS	SUBMITTED	APPROVED
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EAU CLAIRE COUNTY STORM WATER PERMIT		
TOWN OF WASH. DRIVEWAY ACCESS PERMIT		
WIDNR – WRAPP PERMIT		

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EXISTING	PROPOSED
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	---SIGN
	---CURB STOP
	---WELL
	---HYDRANT
	---GATE VALVE
	---CURB INLET
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	---STORM MH
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	---GAS LINE
	---ELECTRIC LINE
	---CABLE TV LINE
	---TREELINE
	---EXISTING TREES
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	---CONTOURS MINOR

SHEET SCHEDULE

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8	EROSION CONTROL PLAN
9	DETAILS

AEC PROJECT #: 20024

PLANS DATED: MAY 2020

ARCHITECT:
 THE EAU CLAIRE DESIGN CO.
 ATTN: CHAD WHITE
 1106 MONDOVI RD. SUITE #5
 EAU CLAIRE, WI 54701
 PHONE: 715.456.6791
 EMAIL: designeauclaire@gmail.com

DEVELOPER:
 LARRY & TAMMY HURT
 2321 FROSTWOODS STREET
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 PHONE: 715.829.5935
 EMAIL: larry.j.hurt@gmail.com

PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS, LLC.
 ATTN: SEAN BOHAN
 1360 INTERNATIONAL DRIVE, SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715.552.0330
 EMAIL: sbohan@aec.engineering



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DRIVE, SUITE #1
 EAU CLAIRE, WI 54701
 PH 715-552-0330
 info@aec.engineering
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COMPUTER #: 024228509000
 OWNER: RHONDA KOHOUT
 ADDRESS: 3717 VOLD CT
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 8 VOLD'S SUBDIV
 ZONED: RH

COMPUTER #: 024228508000
 OWNER: RHONDA KOHOUT
 ADDRESS: 3717 VOLD CT
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 7 VOLD'S SUBDIV
 ZONED: RH

COMPUTER #: 024241809000
 OWNER: DANIEL & JACQUELINE HELGESON
 ADDRESS: 4070 TALMADGE RD
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 9 OF TRILLIUM ESTATES
 ZONED: RH

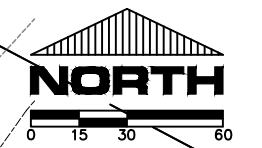
COMPUTER #: 024116207000
 OWNER: KERRY J & DEBORAH K KJELSTAD
 ADDRESS: 2301 DEERFIELD RD W
 EAU CLAIRE WI 54701
 ZONED: RH-C3

COMPUTER #: 024116206010
 OWNER: DANIEL P AND PATRICIA L GREEN
 ADDRESS: E 6295 EVERGREEN RD
 EAU CLAIRE WI 54738
 DESCRIPTION: LOT 1 CSM 3179
 ZONED: RH

COMPUTER #: 024241810000
 OWNER: OLADAPO AND ADEYINKA IGANDAN
 ADDRESS: 4052 TALMADGE RD
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 10 OF TRILLIUM ESTATES
 ZONED: RH

COMPUTER #: 024241901000
 OWNER: MATTHEW AND JAMI LYONS
 ADDRESS: 4030 TALMADGE RD
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 11 OF TRILLIUM ESTATES
 ZONED: RH

COMPUTER #: 024116206020
 OWNER: BRIAN AND LAURA BERGMAN
 ADDRESS: 3345 EVERGREEN LN
 EAU CLAIRE WI 54701
 DESCRIPTION: LOT 2 CSM 3179
 ZONED: C2

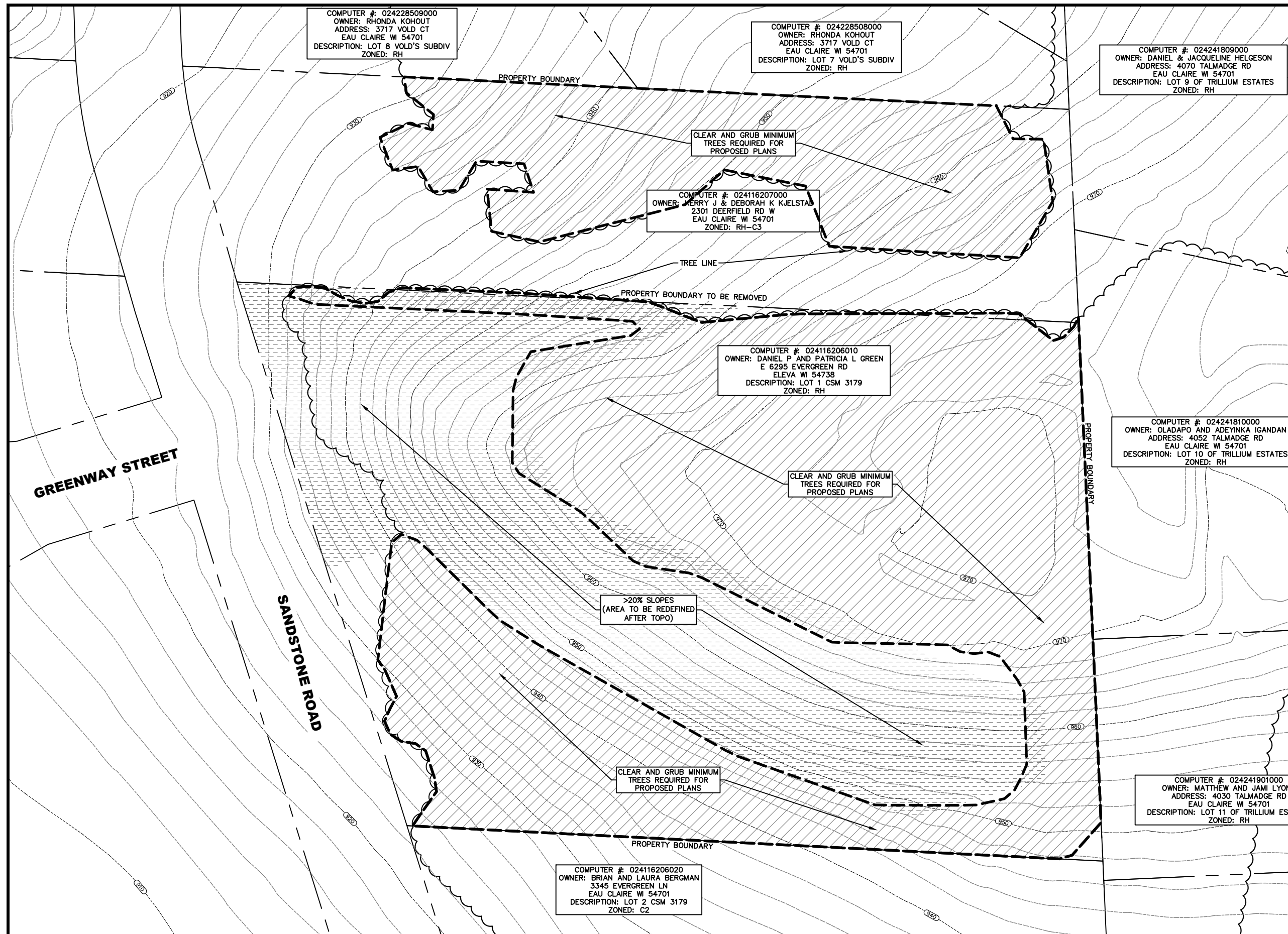


LEGEND

- EXISTING CONTOURS-MNR
- EXISTING CONTOURS-MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE PAVEMENT
- FULL-DEPTH SAWCUT

- GENERAL NOTES:**
1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
 5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
 6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
 7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
 8. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
20024

ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR. SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715-552-0330
 info@aec-engineering.com
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EXISTING CONDITIONS AND DEMOLITION PLAN

SWEET LEGACY RENTALS
 LARRY AND TAMMY HURT
 LOT 1 SANDSTONE ROAD
 EAU CLAIRE, WI

DWG NAME 20024 PG2 EXISTING	2
DATE 5/2020	9



HATCHING LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)

BITUMINOUS PAVEMENT

	3"
	8" BASE COURSE

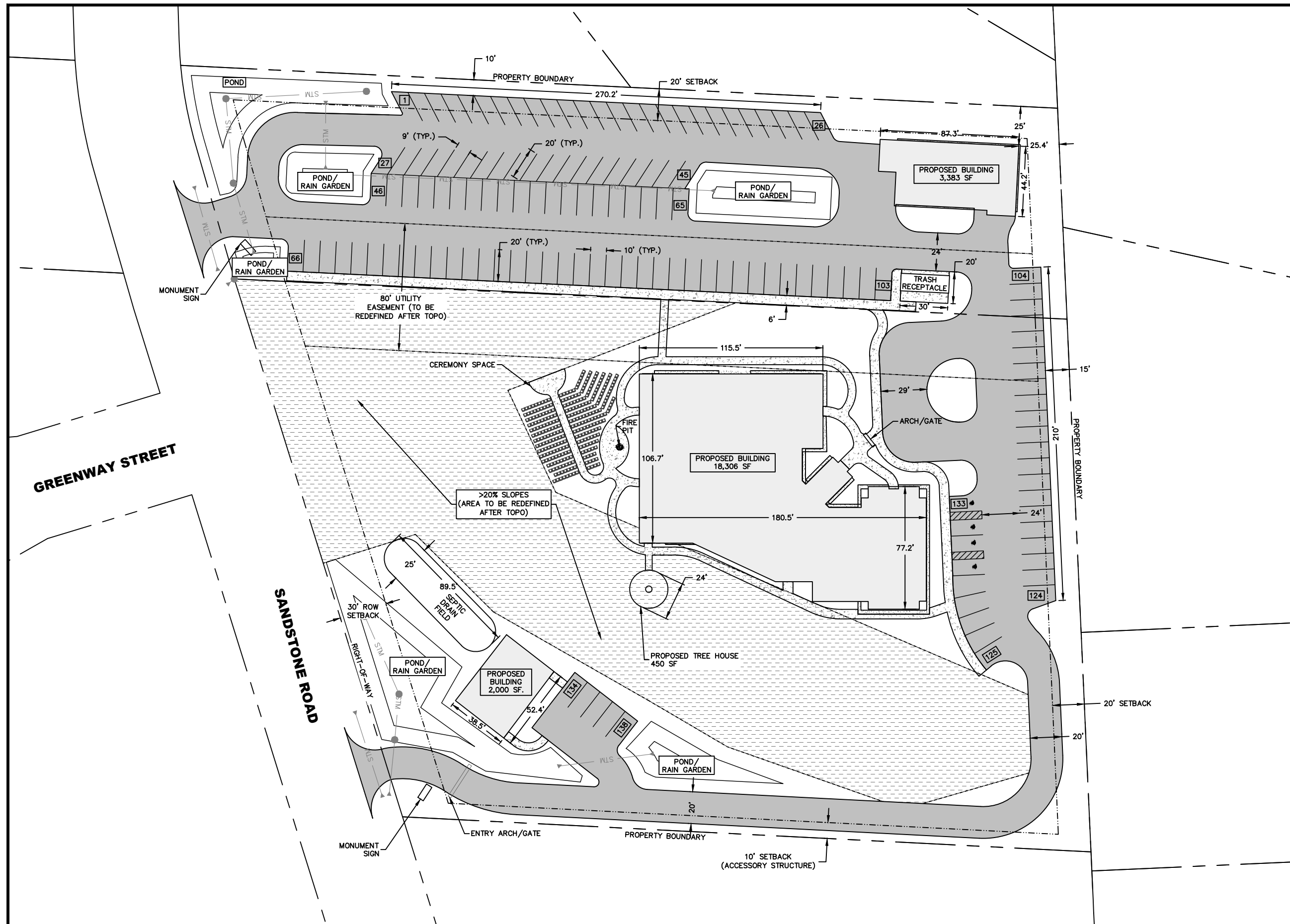
TYPICAL PAVEMENT SECTION

NOTE: PAVEMENT SECTIONS TO BE CONSTRUCTED PER GEOTECHNICAL ENGINEERING REPORT. PAVEMENT SECTIONS ABOVE SHALL BE USED FOR ASSUMED HOLD-DOWN CALCULATIONS ONLY.

**SWEET LEGACY RENTALS
LOT 1 SANDSTONE RD.**

CURRENT ZONING:	RH
PROPOSED ZONING:	C-2
LOT SIZE:	231,107 SF (5.31 AC.) (LOT 1 AND DEERFIELD RD LOT)
EXISTING IMPERVIOUS AREA:	0-SF (0.0%)
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING:	24,139-SF (10.4%)
PROPOSED PAVEMENT:	71,649-SF (31.0%)
PROPOSED PATIO/SIDEWALK:	9,161-SF (4.0%)
OVERALL IMPERVIOUSNESS:	104,949-SF (45.4%)
GREEN SPACE:	126,158-SF (54.6%)
PARKING STALLS:	138 TOTAL (4 ACCESSIBLE)
STORM WATER TREATMENT:	6 WETPONDS /INFILTRATION PONDS

SETBACKS:
 FRONT: 30'
 SIDE: 0' (PRIMARY STRUCTURE ADJACENT TO C-2)
 SIDE: 10' (ACCESSORY STRUCTURE ADJACENT TO C-2)
 SIDE: 20' (ANY STRUCTURE ADJACENT TO RH)
 REAR: 20' (ADJACENT TO RH)



UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

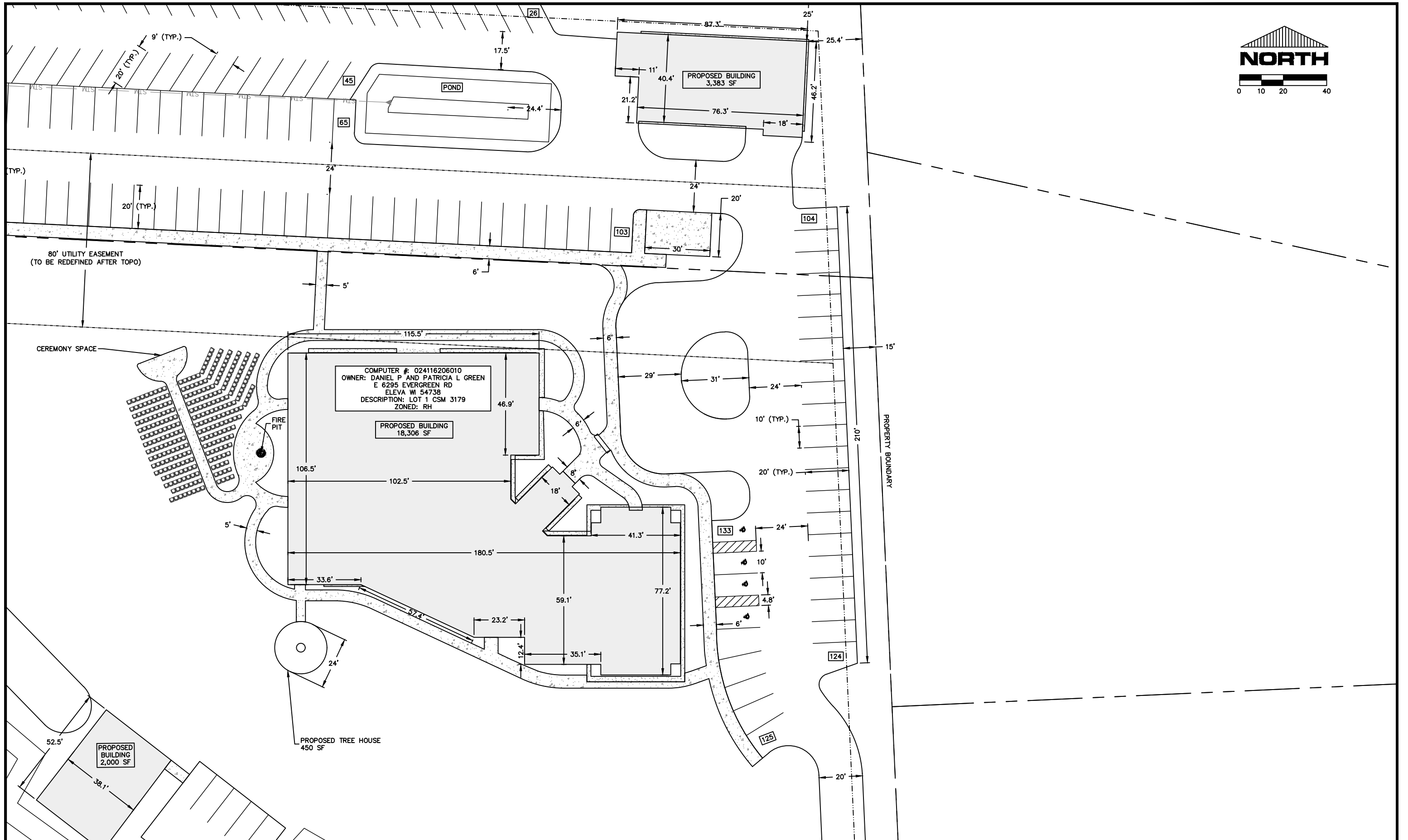
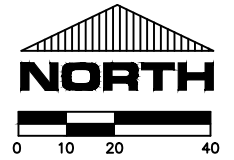
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OVERALL SITE PLAN

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME	20024 PG3 SITE	3
DATE	5/2020	9



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
20024



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BUILDING SITE PLAN

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

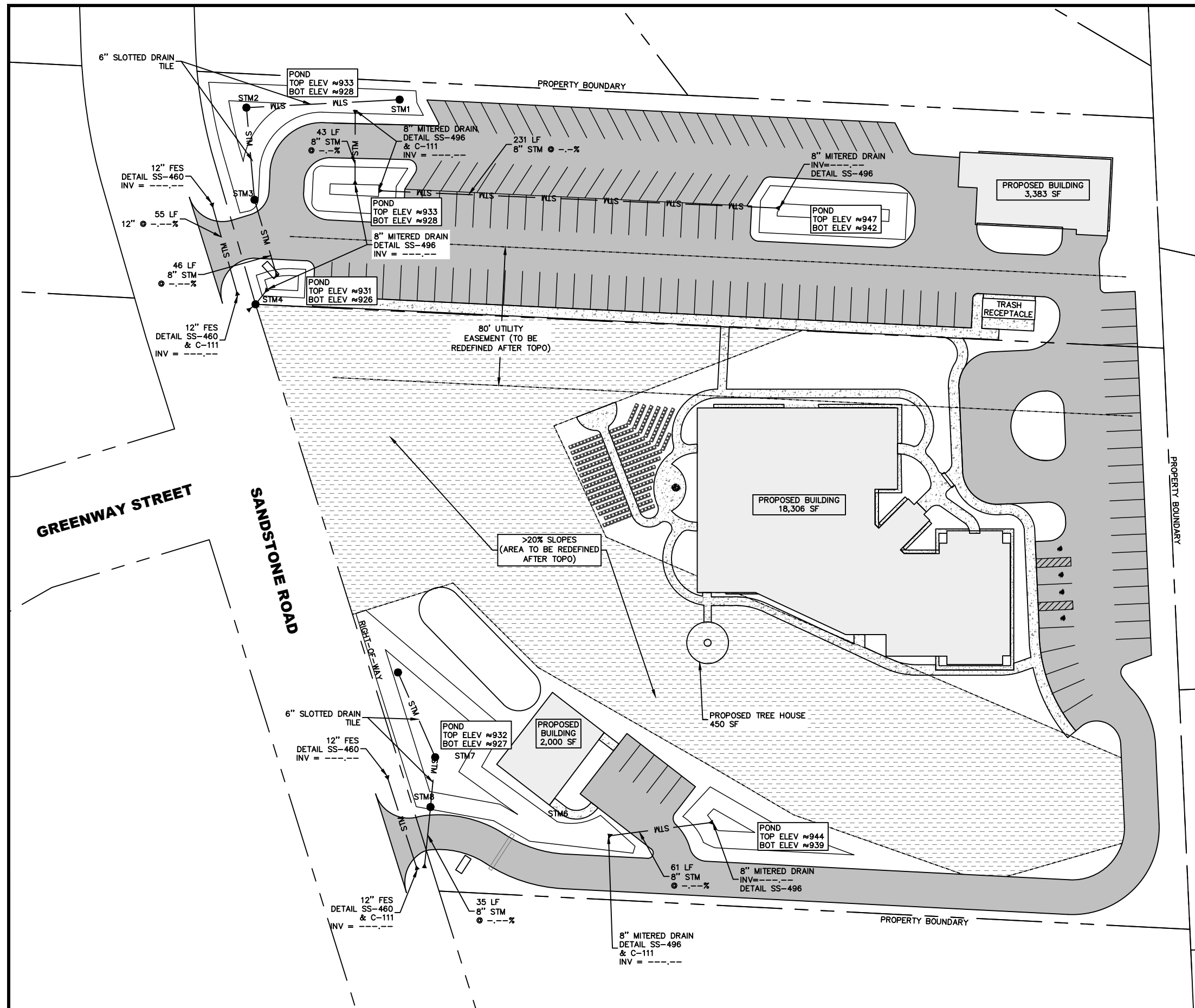
DWG NAME
20024 PG4
SITE
DATE
5/2020

4
9

78



- UTILITY NOTES:**
1. STORM PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
 2. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
 3. MANHOLES ARE 48"Ø UNLESS OTHERWISE NOTED.
 4. SILT FENCE AROUND INLETS AND MANHOLES REQUIRED DURING CONSTRUCTION PER DETAIL C-211.
 5. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
 6. OVER EXCAVATE BIO-RETENTION CELL TO VIRGIN MATERIAL AND DEEP TILL IN-SITU SOIL. PLACE CLEAN GRANULAR SAND TO ELEV=903.38. CONSTRUCT REMAINING BED PER DETAIL. PLACE EROSION MAT IMMEDIATELY AFTER GRADING. EROSION MAT TO REMAIN IN-PLACE UNTIL THE TIME THAT THE B.R.C. IS PROFESSIONALLY LANDSCAPED AND PLANTED. REPLACE MAT WITH LANDSCAPE MULCH OR NEW EROSION MAT.



UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
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UTILITY PLAN

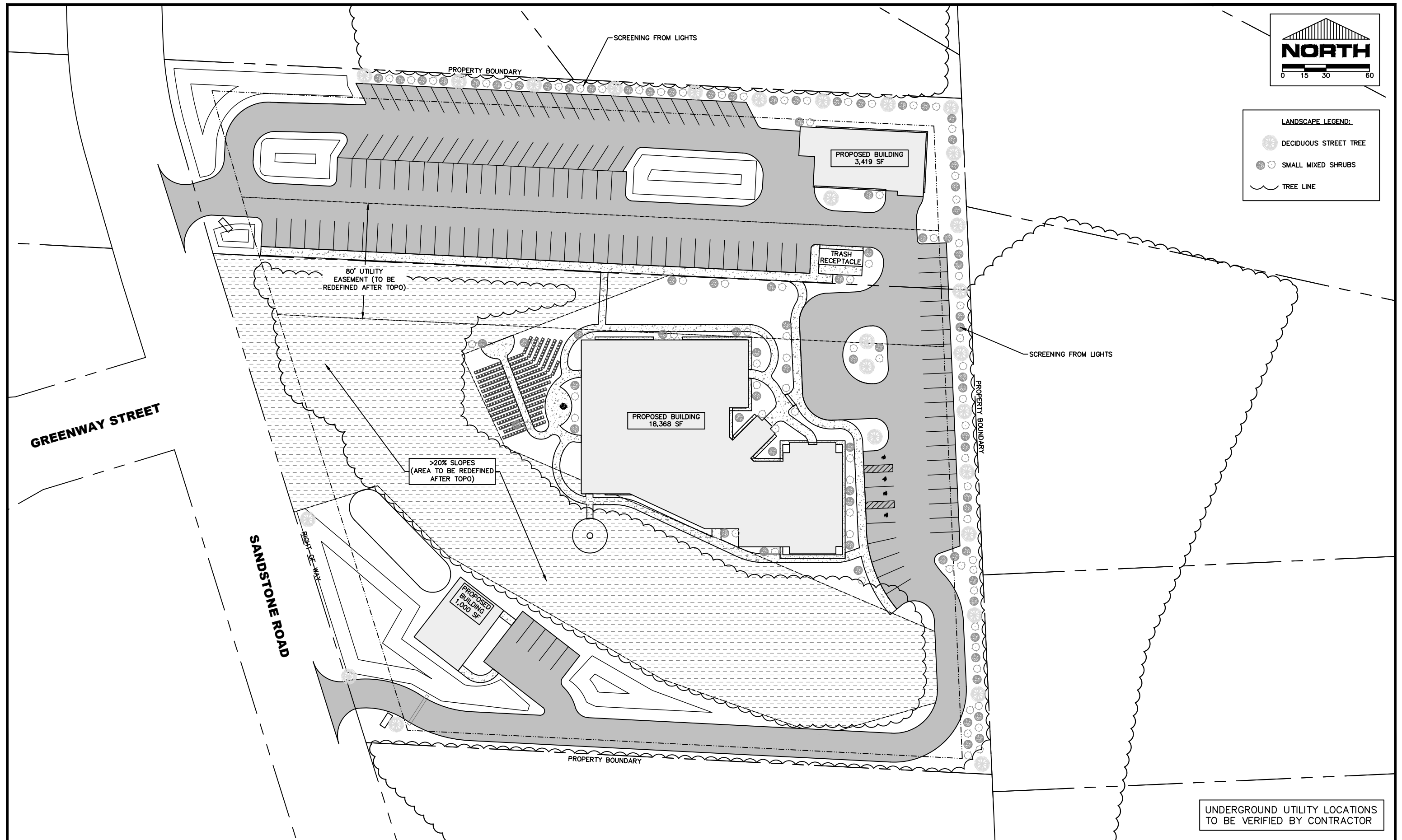
SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME 20024 PG5 SITE	5
DATE 5/2020	9



LANDSCAPE LEGEND:

- DECIDUOUS STREET TREE
- SMALL MIXED SHRUBS
- TREE LINE



UNDERGROUND UTILITY LOCATIONS
TO BE VERIFIED BY CONTRACTOR

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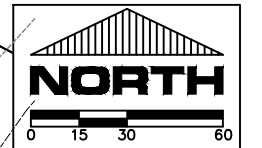
LANDSCAPE PLAN

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME
20024 PG6
LANDSCAPE
DATE
5/2020

6
9

80

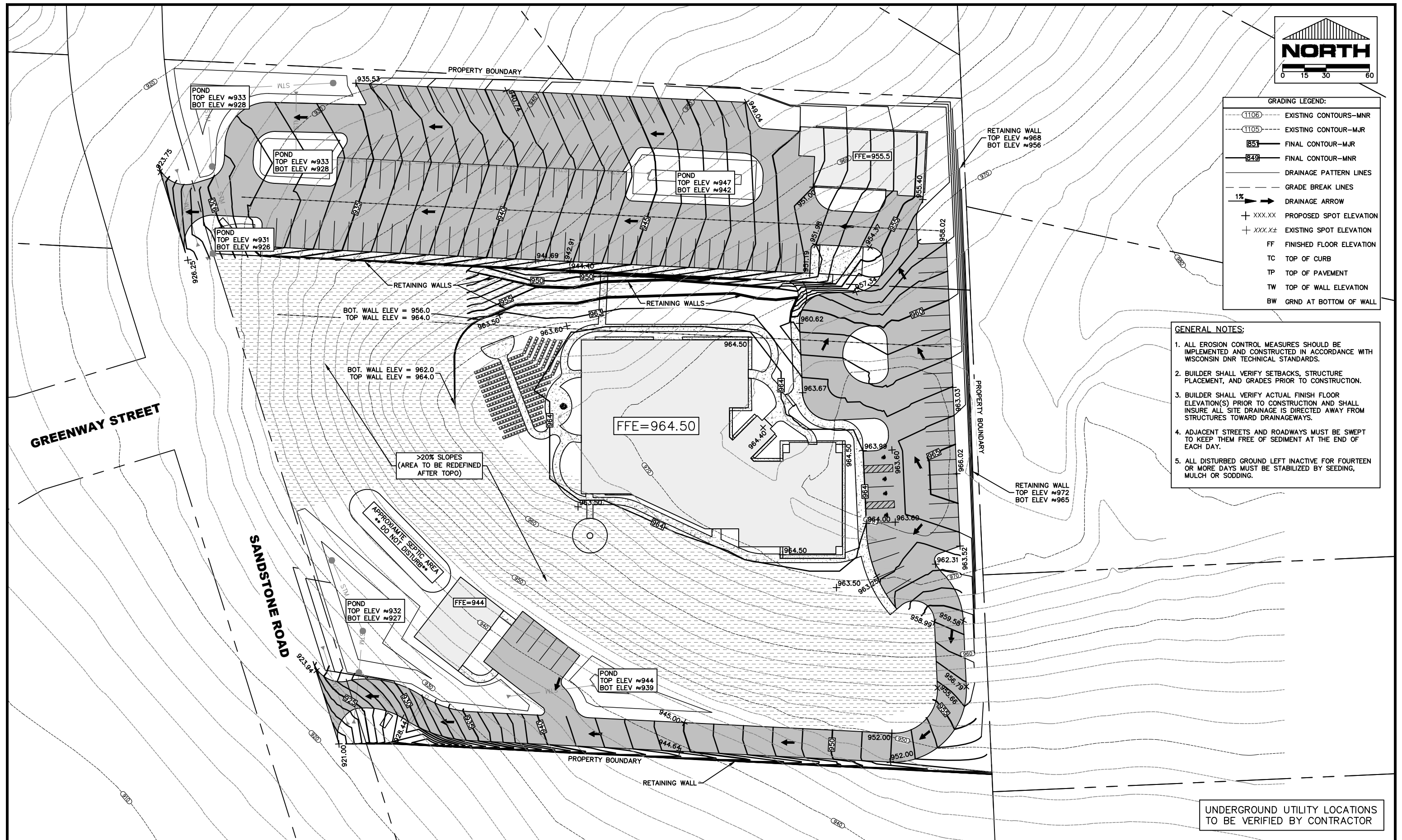


GRADING LEGEND:

(---) 1106	EXISTING CONTOURS-MNR
(---) 1105	EXISTING CONTOUR-MJR
(---) 851	FINAL CONTOUR-MJR
(---) 849	FINAL CONTOUR-MNR
(---)	DRAINAGE PATTERN LINES
(---)	GRADE BREAK LINES
(---) 1%	DRAINAGE ARROW
+ XXX.XX	PROPOSED SPOT ELEVATION
+ XXX.XX	EXISTING SPOT ELEVATION
FF	FINISHED FLOOR ELEVATION
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TW	TOP OF WALL ELEVATION
BW	GRND AT BOTTOM OF WALL

- GENERAL NOTES:**
1. ALL EROSION CONTROL MEASURES SHOULD BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS.
 2. BUILDER SHALL VERIFY SETBACKS, STRUCTURE PLACEMENT, AND GRADES PRIOR TO CONSTRUCTION.
 3. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES TOWARD DRAINAGEWAYS.
 4. ADJACENT STREETS AND ROADWAYS MUST BE SWEEPED TO KEEP THEM FREE OF SEDIMENT AT THE END OF EACH DAY.
 5. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.

UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

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20024

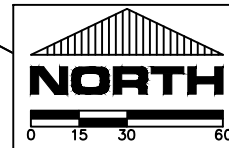


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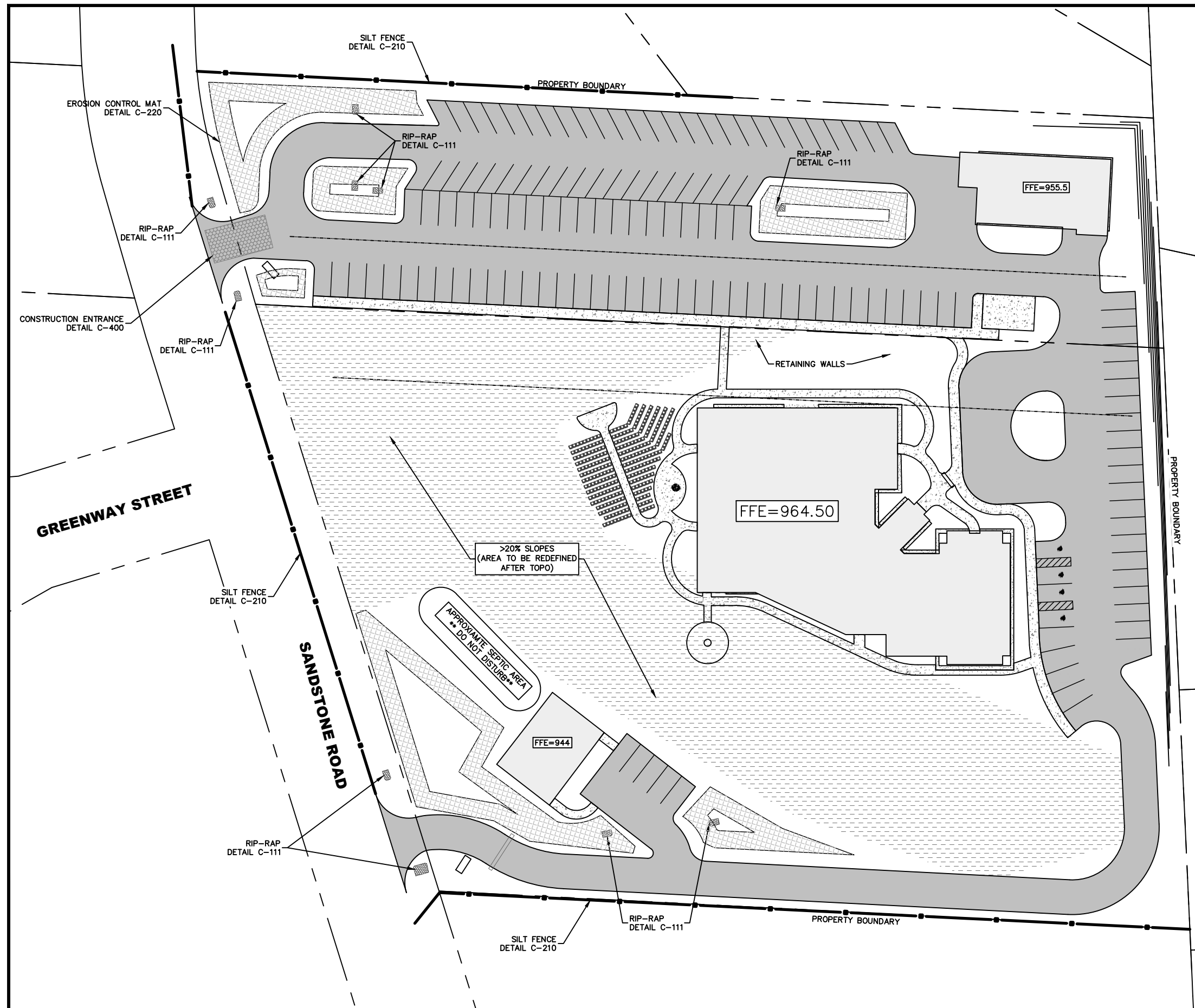
GRADING PLAN

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME 20024 PG7 GRADING	7
DATE 5/2020	9



EROSION CONTROL LEGEND	
	SILT FENCE DETAIL C-210
	CONSTRUCTION ENTRANCE DETAIL C-400
	E-MAT DETAIL C-220
	RIP-RAP DETAIL C-111



- THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION THAT IS COMPLEMENTARY TO THIS PLAN.
- EROSION CONTROL NOTES:**
1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
 2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 3. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 4. CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
 5. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION, MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
 6. THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL C-400 OR WDNR TECH. STANDARD #1057. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
 7. TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
 8. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECH. STANDARD #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. REPAIR BREAKS OR GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY.
 9. INSTALL AND MAINTAIN FILTER SOCKS OR BIO-LOGS OR EROSION LOGS IN ACCORDANCE WITH WDNR TECH. STANDARD #1071. EROSION LOGS SHALL BE CONSTRUCTED AT ALL PIPE OUTLETS UNTIL GRADING IS COMPLETE AND RIP RAP HAS BEEN INSTALLED.
 10. GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC. AS GRADING IS COMPLETED, EROSION LOGS, EROSION MAT, AND RIP RAP SHALL BE INSTALLED.
 11. RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
 12. MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
 13. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 14. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECH. STANDARD #1068.
 15. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDNR. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.

UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR

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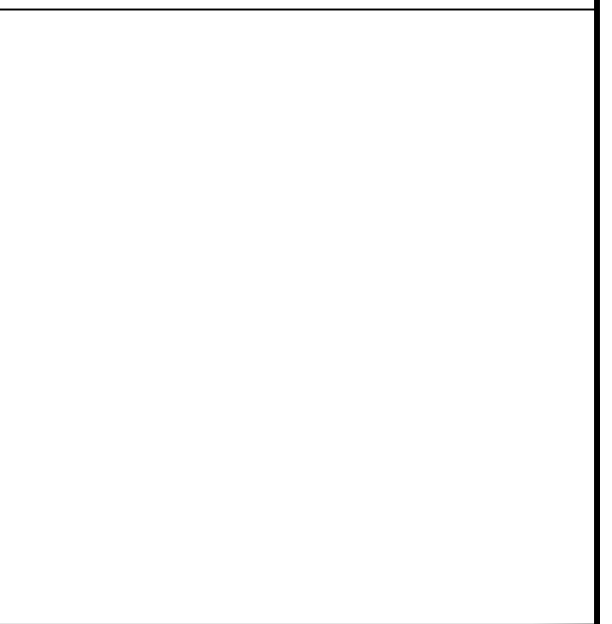
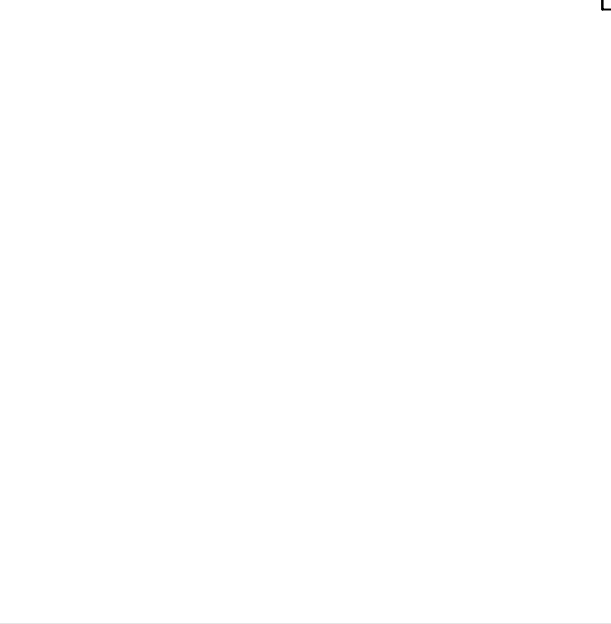
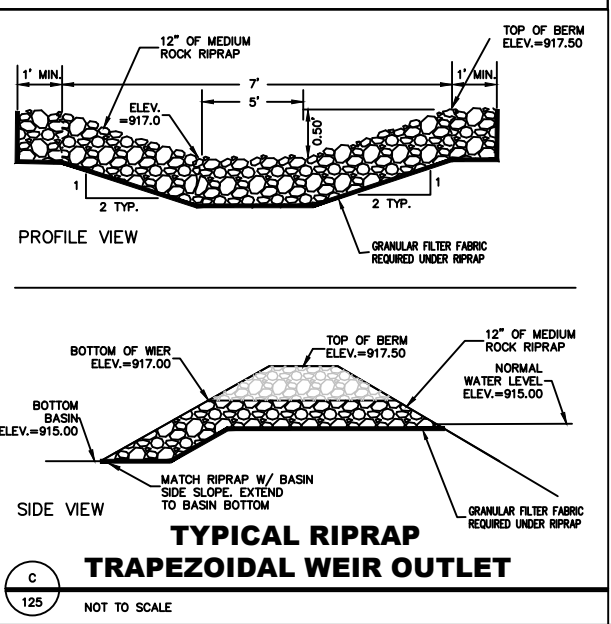
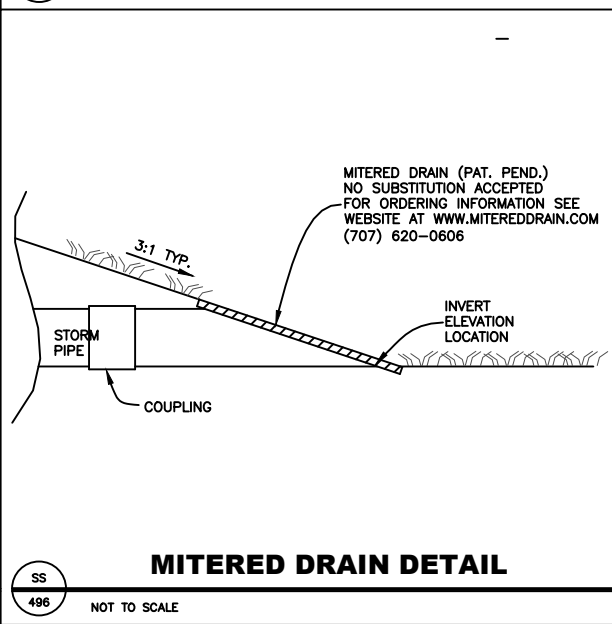
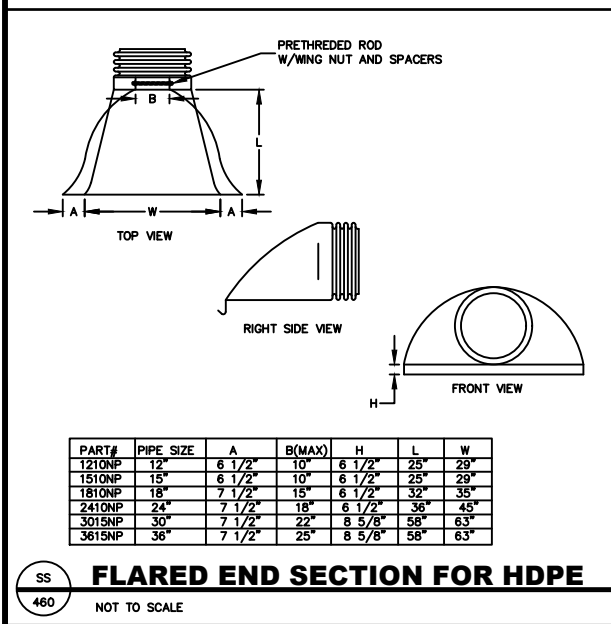
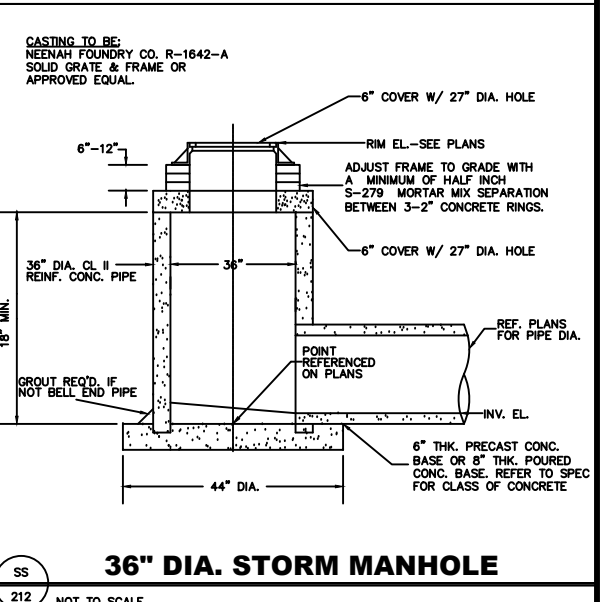
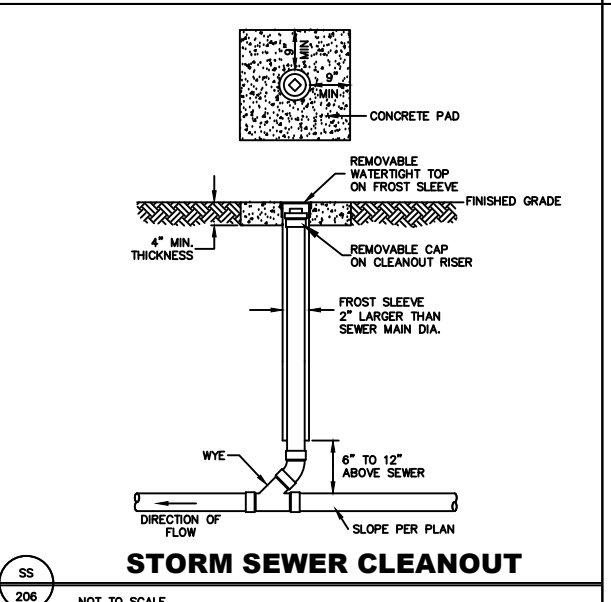
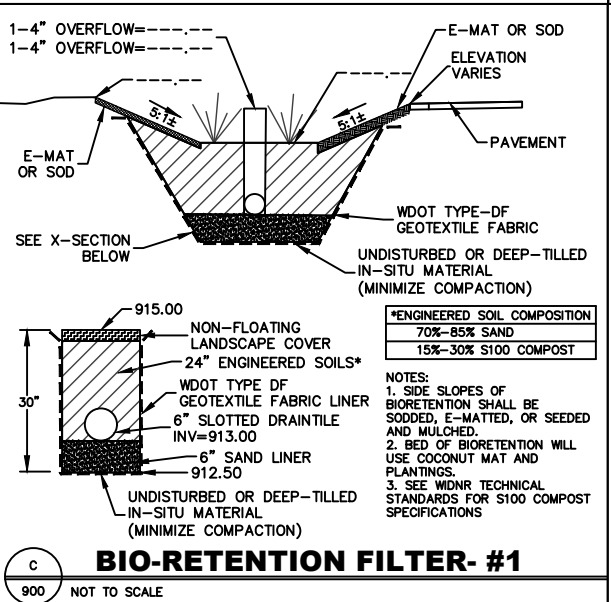
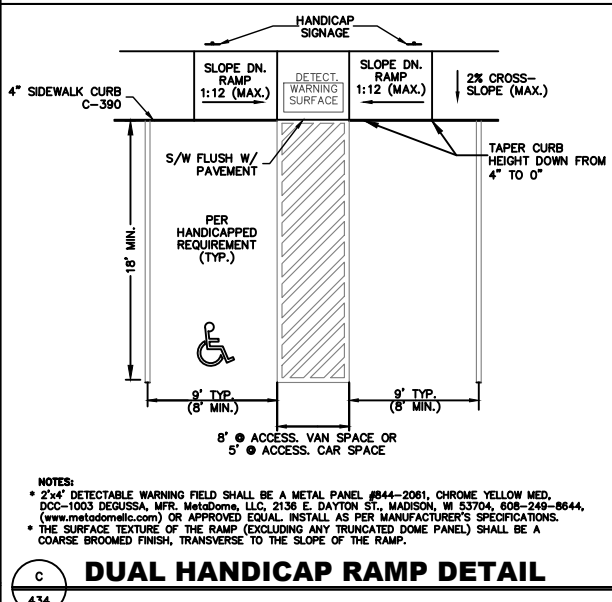
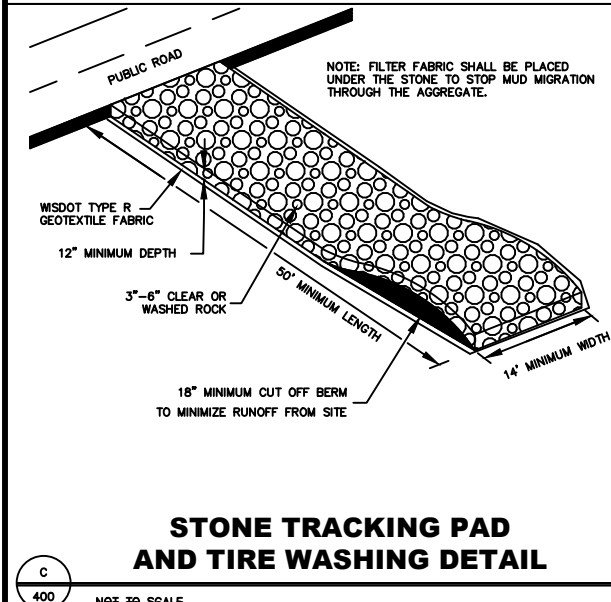
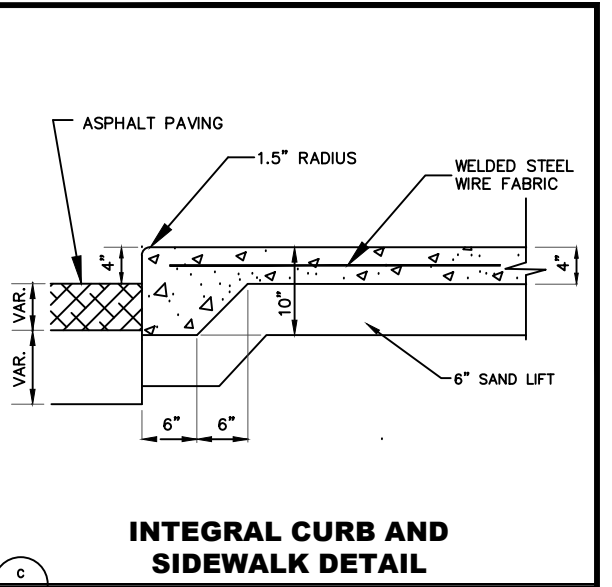
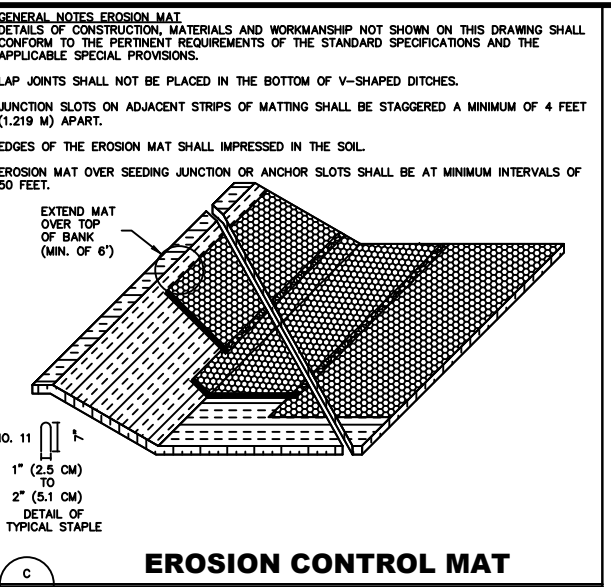
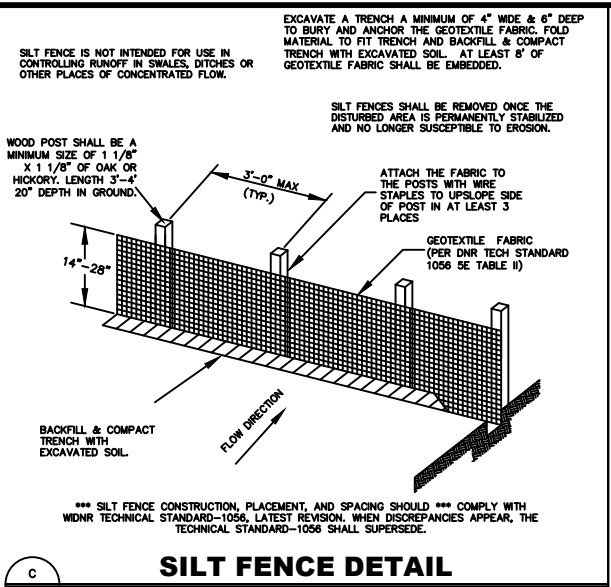
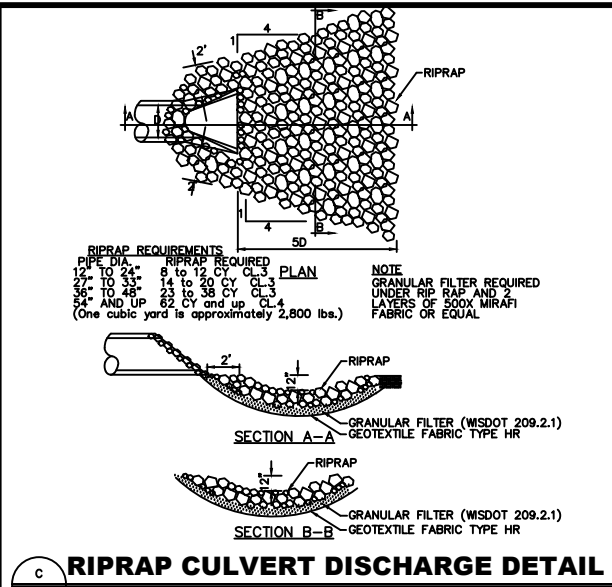
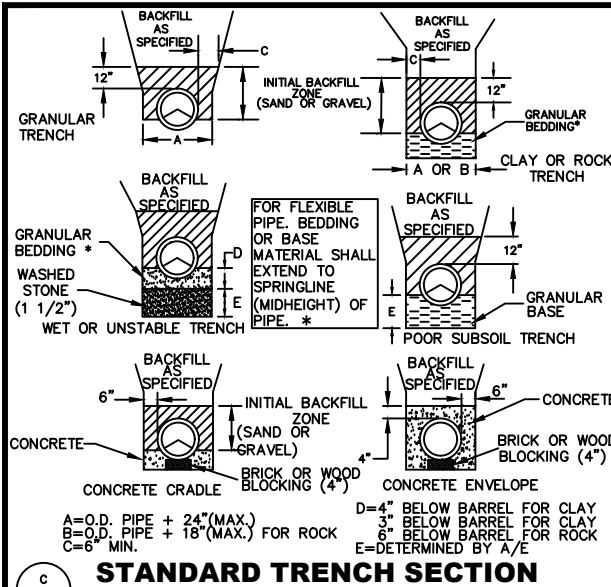
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EROSION CONTROL PLAN

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME 20024 PGB EROSION	8
DATE 5/2020	9



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DETAILS

SWEET LEGACY RENTALS
LARRY AND TAMMY HURT
LOT 1 SANDSTONE ROAD
EAU CLAIRE, WI

DWG NAME
20024 PG9
DETAILS

DATE
5/2020

9

Legend

- 700' Buffer
- Subject Parcels
- Parcels in Buffer
- Civil Divisions
- Parcels



1 inch = 400 feet

FirstName	LastName	Address	City	State	Zip
	ARROWHEAD PROPERTIES LLC	3502 OAKWOOD HILLS PKWY	EAU CLAIRE	WI	54701
	BARKS AND RECREATION LLC	5775 FRIEDECK RD	EAU CLAIRE	WI	54701-9736
DANIEL	BAUMANN	4014 TALMADGE RD	EAU CLAIRE	WI	54701-2737
JEFFREY	BERGEMAN	3719 VOLD CT	EAU CLAIRE	WI	54701-8772
BRIAN	BERGMAN	3345 EVERGREEN LN	EAU CLAIRE	WI	54701-5912
MATTHEW	CASEY	3706 VOLD CT	EAU CLAIRE	WI	54701-8772
	CMJM PROPERTIES LLC	9305 MURPHY LN	EAU CLAIRE	WI	54703-9173
	DOWN TO EARTH REAL ESTATE LLC	6025 ARNDT LN	EAU CLAIRE	WI	54701-9742
AMY	DUHR	3747 VOLD CT	EAU CLAIRE	WI	54701-8772
	ELIZABETH A FEIL & DOUGLAS E CHAPMAN	N 48181 THOMPSON RD	ELEVA	WI	54738-9304
MARK	GILBERTSON	703 CLUB VIEW LN	ALTOONA	WI	54720-2216
DANIEL P & PATRICIA L	GREEN	E 6295 EVERGREEN RD	ELEVA	WI	54738-9405
	GROUNDED INVESTMENTS LLC	3345 EVERGREEN LN	EAU CLAIRE	WI	54701-5912
MARY	HALDORSON	3729 VOLD CT	EAU CLAIRE	WI	54701-8772
DANIEL	HELGESON	4070 TALMADGE RD	EAU CLAIRE	WI	54701-2737
	HILLVIEW PROPERTIES LLC	S 11890 HILLVIEW RD	ELEVA	WI	54738-9157
OLADAPO	IGANDAN	4052 TALMADGE RD	EAU CLAIRE	WI	54701
KERRY J & DEBORAH K	KJELSTAD	3705 VOLD CT	EAU CLAIRE	WI	54701-8772
KERRY J & DEBORAH K	KJELSTAD	2301 DEERFIELD RD W	EAU CLAIRE	WI	54701-8969
RHONDA	KOHOUT	3717 VOLD CT	EAU CLAIRE	WI	54701-8772
MAURO	LAI	6007 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
TODD	LEAVITT	1206 AMANDA CT	EAU CLAIRE	WI	54703-5071
RICHARD	LUDWIKOSKI	3972 TALMADGE RD	EAU CLAIRE	WI	54701
MATTHEW	LYONS	4030 TALMADGE RD	EAU CLAIRE	WI	54701-2737
MICHAEL	MAGUR	6010 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
ADAM	MILLER	4080 TALMADGE RD	EAU CLAIRE	WI	54701-2737
ROBERT	MILNE	6031 WHITE OWL LN	EAU CLAIRE	WI	54701-4489
	N & P PROPERTIES LLC	629 E MURRAY ST	BOYD	WI	54726-9059
	NORVY PROPERTIES LLC	E 9893 408TH AVE	EAU CLAIRE	WI	54703-9407
MATTHEW	OLMSTEAD	4126 TALMADGE RD	EAU CLAIRE	WI	54701-2812
GOLDEAN	POSS	5809 FRIEDECK RD	EAU CLAIRE	WI	54701-9739
LESLIE	POULOS	3725 VOLD CT	EAU CLAIRE	WI	54701-8772
DEVAEN	RANDALL	3998 TALMADGE RD	EAU CLAIRE	WI	54701

	SANDSTONE INVESTMENTS LLC	E 6295 EVERGREEN RD	ELEVA	WI	54738-9405
SCOTT	SCHOETTLE	122 E MCKINLEY AVE	FALL CREEK	WI	54742-9650
NATHON	SHILL	3710 VOLD CT	EAU CLAIRE	WI	54701-8772
BURTON H & JUDITH A	SPANGLER	4125 RIDGEDALE CT	EAU CLAIRE	WI	54701-8773
JERRY J & BONITA J	STEINER	4117 RIDGEDALE CT	EAU CLAIRE	WI	54701-8773
	TD SWANSON PROPERTIES	5840 ARNDT LN	EAU CLAIRE	WI	54701
	TOWN OF WASHINGTON	5750 OLD TOWN HALL RD	EAU CLAIRE	WI	54701-8948
	TY A & MAREN A BERNICKE TRUST	4129 TALMADGE RD	EAU CLAIRE	WI	54701-2812
	VECTOR PARTNERS LLC	3653 GREENWAY ST	EAU CLAIRE	WI	54701-5148
MICHAEL J & JACQUELINE	VOLD	3742 VOLD CT	EAU CLAIRE	WI	54701-8772
WILLIAM	WEICH	5848 ALBRIGHT CT	EAU CLAIRE	WI	54701-5045
	WWB LLC	5890 ARNDT LN	EAU CLAIRE	WI	54701

Final Plat Report



To: Committee on Planning and Development
Regarding: Final Plat of “CAMBRIDGE ESTATES”
Surveyor: Peter Gartmann; Real Land Surveying
Owner/Agent: C&M Properties, Cody Filipczak
Date: May 20, 2020
Cc: Peter Gartmann; Real Land Surveying
C&M Properties, Cody Filipczak
Dan Hanson, Chair, Town of Pleasant Valley

Committee Members:

The statutory time limit for the County to take action on this matter expires 60 days after the last submittal. The County must “Approve, Conditionally Approve or Deny” this submitted Final Plat by this time or it automatically is deemed approved by statute.

Staff has reviewed and recommends conditional approval of the **4/08/2020** “Final Plat of **“CAMBRIDGE ESTATES”**”. (Most recent submittal of 04/27/2020.)

Recommended conditions for approval are as follows:

- 1) That the Town of Pleasant Valley conditionally approves this final plat.
 - a) Note: there appear to be notes on the top of Sheet 1 that need further review/discussion. They may be carried over from a Town of Washington Plat.
 - b) The Town of Pleasant Valley has not historically maintained the noted facilities.
- 2) That the final plat be revised and/or updated to include:
 - a) Corrected Town in storm water easement statement
 - b) Northeast Corner of Section 26 -show graphically, dimensionally and label.
 - c) “Cambridge Estates” in all signature blocks.
 - d) Correct chord and tangent bearings for Lots 1 and 2. (switched)
 - e) Label for right-of-way width change at the quarter line.
 - f) Iron pipe symbol just west of the East ¼ corner to be moved.
 - g) Correct curve radius for Curve “H” This should be Curve “X” radius plus 66’-please verify all curve data for all lots on this one.
 - h) Corrected lines for the Northeasterly and Southwesterly lines of Lot 53.
 - i) Corrected partials that add to totals along the west lines of Lots 16-26, right-of-way, Lot 28 and OL4. Also, partials/totals along the North line of OL3.
 - j) Clarification or erasure of drainage easement label in Lot 66 that shows a 10’ offset.
 - k) Addition of a dimension from one of the corners on the West line of Lot 28 to the beginning of line L1.
 - l) Moved text for the utility easement in Lot 61 (obscured)
 - m) Stormwater statement should state “no improvement *or* object”. Also, please add comma between “right” and “privilege”.
 - n) Update Planning and Development signature to reflect “Rodney J. Eslinger”.
 - o) Would recommend a road crossing, dimensioned “connector” to the lots surrounded by roads to allow for ease of computation for those lots.

- p) Would recommend adding a legend to Sheet 1 and a notes section with better clarity.
 - q) Sheet 1 has a note stating that Outlot 3 is approved for sanitary purposes following Title 8 of the county code; need clarification on this.
 - r) Verify note on monuments set “at all other corners” as there may be an extra period.
 - s) Move legend item above the previous note as it appears to cut off at “ESA” on sheet 1.
 - t) Add a statement that the legend noting “stormwater easement” does not match the plat notation “drainage easement”. Use the same terminology. Either stormwater easement or drainage easement is acceptable, but they need to be the same.
- 3) That the soils conditions meet the approval of the City/County Health Department for installation of on-site sanitary systems.
 - 4) The groundwater map shall be submitted for review and approval by the City/County Health Dept.
 - 5) That the storm water plans meet the approval of the Eau Claire County Land Conservation Department. -There is a concern that the drainage easement for Lots 30,31 does not extend across lots, and potential for a structure placement within this drainage area.
 - 6) Please verify if the intermittent tributary to Pine Creek is navigable as there is a note that was not present on the Preliminary, “approximate ordinary highwater mark” that was not identified on the preliminary plat, in addition to “Intermittent tributary to Pine Creek” and the “Public Trust Information ” note (see Outlot 4). Having this determination now is important for rules/regulations that may follow with development and whether Title 20 of the county code applies. Staff will be doing further review and will follow up with findings.
 - 7) Sheet 1 has a note stating that Outlot 3 is approved for sanitary purposes following Title 8 of the county code. This requires clarification.
 - 8) That the Wisconsin Department of Administration Plat Review Section certifies that it does not object to this plat.
 - 9) That the Final Plat conforms to 18.78.060 Final Plat Submittal, 18.78.070 Final Plat Review and Approval, 18.78.080 Recording of the Final Plat, 18.80 Final Plat, 18.82 Design Standards, 18.83 Required Improvements, 18.84 Subdivision Improvement Guarantees and 18.85.030 Legal, Engineering and Inspection Fees which are requirements and procedures outlined within the Subdivision Control of the County Code that may not have specifically identified previously in detail. (i.e., vision corner easements at all road intersections and noted with restrictions in 18.22.025; etc.)
 - 10) That the Final Plat complies with all applicable portions of s. 236 of the Wisconsin Statutes and that the Department of Administration has no objection to the final plat and certifies to this.
 - 11) That in submitting for final plat approval, the owner will also furnish to the county an abstract of title or a policy of title insurance certified to date for examination as allowed in s. 236.21 (2) (b).

Notes:

- 1) According to the most recent tie sheet for the North ¼ corner of Section 26, the corner is marked by a brass cap monument. If this is no longer the case, please submit an updated tie sheet that reflects this change.
- 2) Outlot 4 is missing the note stating “does not have direct access to County Road “I” per Eau Claire County Highway Department” that was present on the Preliminary.
- 3) The developer will need to meet with the USPS Postmaster to determine type and location of mailbox installation for this development.

Respectfully submitted:

Dean J. Roth, PLS

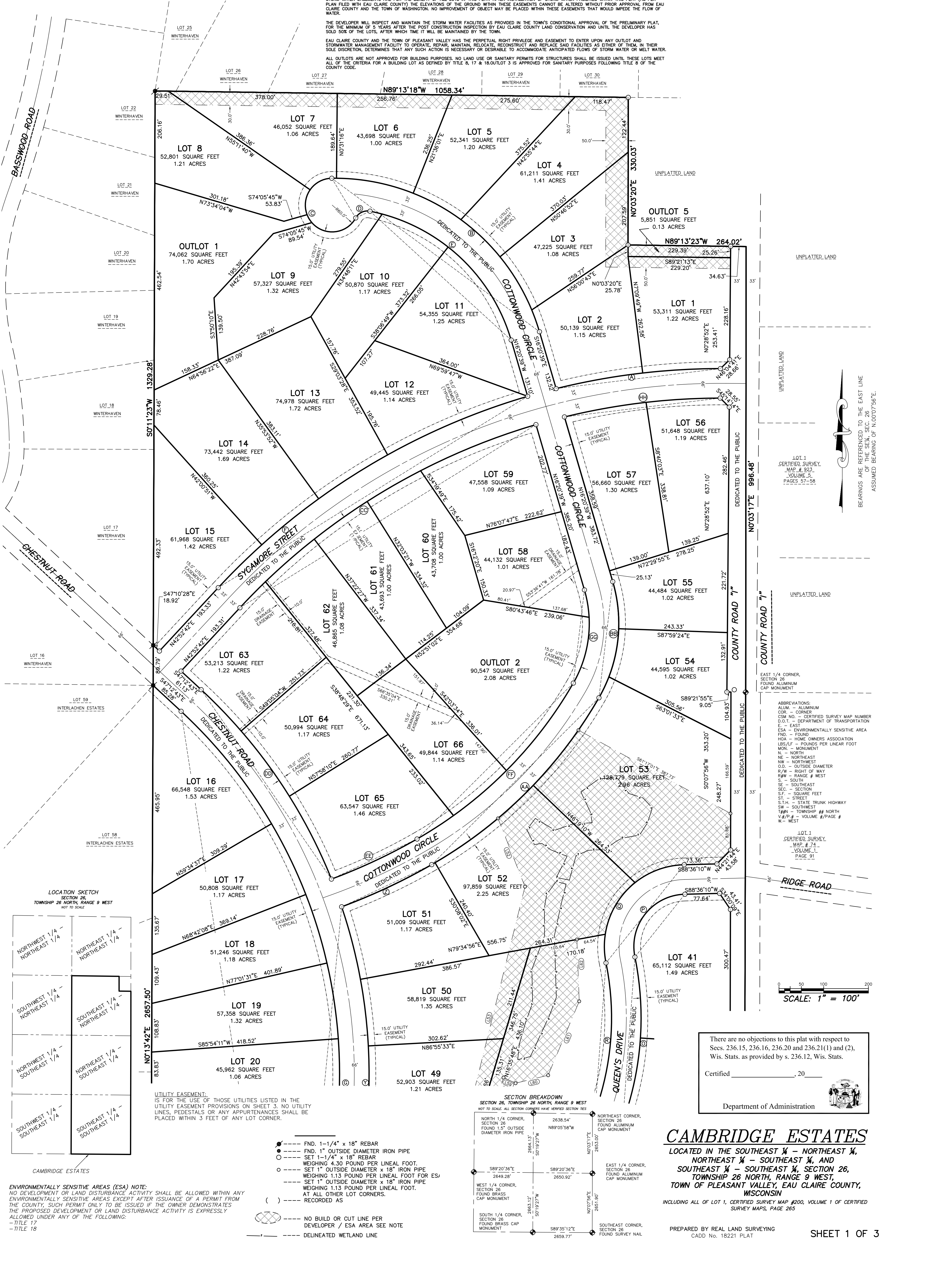
Eau Claire County Surveyor
Land Records Division Supervisor
Department of Planning and Development
Room 3344 - 721 Oxford Avenue
Eau Claire, WI 54703-5481
Voice: 715-839-4742
FAX 715-831-5802
E-mail: dean.roth@co.eau-claire.wi.us

STORM WATER EASEMENTS ARE FOR THE BENEFIT OF ALL LOTS IN THIS PLAT. AFTER INSTALLATION OF STORM WATER FACILITIES WITHIN THIS PLAT (AS PER PLAN FILED WITH EAU CLAIRE COUNTY) THE ELEVATIONS OF THE GROUND WITHIN THESE EASEMENTS CANNOT BE ALTERED WITHOUT PRIOR APPROVAL FROM EAU CLAIRE COUNTY AND THE TOWN OF WASHINGTON. NO IMPROVEMENT OR OBJECT MAY BE PLACED WITHIN THESE EASEMENTS THAT WOULD IMPED THE FLOW OF WATER.

THE DEVELOPER WILL INSPECT AND MAINTAIN THE STORM WATER FACILITIES AS PROVIDED IN THE TOWN'S CONDITIONAL APPROVAL OF THE PRELIMINARY PLAT. FOR THE MINIMUM OF 5 YEARS AFTER THE POST CONSTRUCTION INSPECTION BY EAU CLAIRE COUNTY LAND CONSERVATION AND UNTIL THE DEVELOPER HAS SOLD 50% OF THE LOTS, AFTER WHICH TIME IT WILL BE MAINTAINED BY THE TOWN.

EAU CLAIRE COUNTY AND THE TOWN OF PLEASANT VALLEY HAS THE PERPETUAL RIGHT PRIVILEGE AND EASEMENT TO ENTER UPON ANY OUTLOT AND STORMWATER MANAGEMENT FACILITY TO OPERATE, REPAIR, MAINTAIN, RELOCATE, RECONSTRUCT AND REPLACE SAID FACILITIES AS EITHER OF THEM, IN THEIR SOLE DISCRETION, DETERMINES THAT ANY SUCH ACTION IS NECESSARY OR DESIRABLE TO ACCOMMODATE ANTICIPATED FLOWS OF STORM WATER OR MELT WATER.

ALL OUTLOTS ARE NOT APPROVED FOR BUILDING PURPOSES. NO LAND USE OR SANITARY PERMITS FOR STRUCTURES SHALL BE ISSUED UNTIL THESE LOTS MEET ALL OF THE CRITERIA FOR A BUILDING LOT AS DEFINED BY TITLE 8, 17 & 18. OUTLOT 3 IS APPROVED FOR SANITARY PURPOSES FOLLOWING TITLE 8 OF THE COUNTY CODE.



LOT 1 CERTIFIED SURVEY MAP # 923 VOLUME 5 PAGES 57-58

LOT 1 CERTIFIED SURVEY MAP # 74 VOLUME 1 PAGE 91

EAST 1/4 CORNER, SECTION 26 FOUND ALUMINUM CAP MONUMENT

ABBREVIATIONS:
ALUM. - ALUMINUM
COR. - CORNER
CSM NO. - CERTIFIED SURVEY MAP NUMBER
D.O.T. - DEPARTMENT OF TRANSPORTATION
E - EAST
ESA - ENVIRONMENTALLY SENSITIVE AREA
FND. - FOUND
HOA - HOME OWNERS ASSOCIATION
LBS/LF - POUNDS PER LINEAL FOOT
MON. - MONUMENT
N - NORTH
NE - NORTHEAST
NW - NORTHWEST
O.D. - OUTSIDE DIAMETER
R/W - RIGHT OF WAY
RW - RANGE # WEST
S.E. - SOUTHEAST
SEC. - SECTION
S.F. - SQUARE FEET
ST. - STREET
S.T.H. - STATE TRUNK HIGHWAY
SW - SOUTHWEST
T.#N - TOWNSHIP ## NORTH
V.#/P.# - VOLUME #/PAGE #
W. - WEST

LOT 1 CERTIFIED SURVEY MAP # 74 VOLUME 1 PAGE 91

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SEC. 26 ASSUMED BEARING OF N.007°56'E.

SCALE: 1" = 100'

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

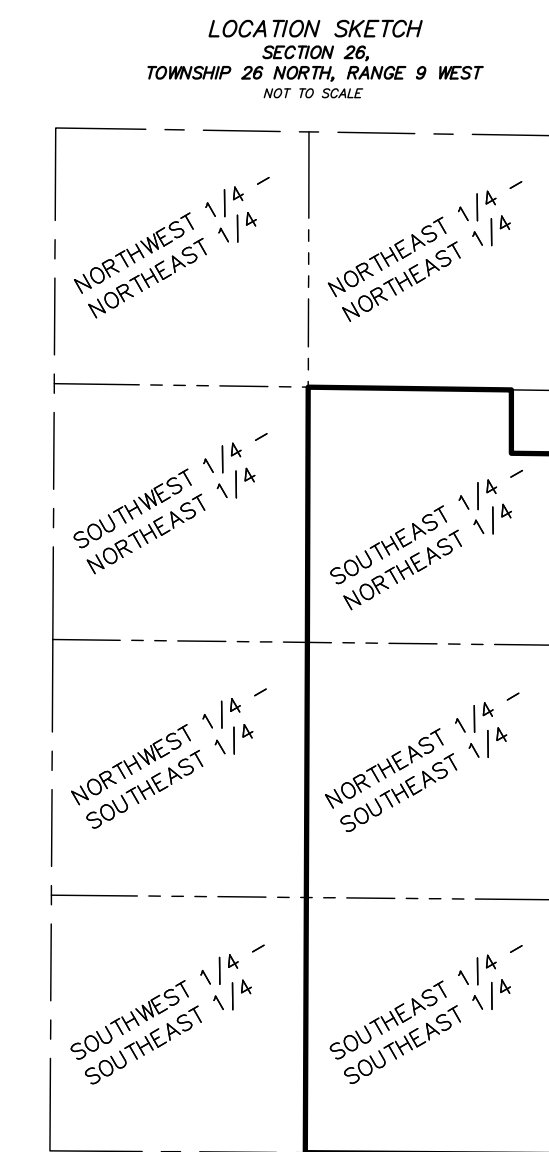
Department of Administration

CAMBRIDGE ESTATES
LOCATED IN THE SOUTHWEST 1/4 - NORTHEAST 1/4, NORTHEAST 1/4 - SOUTHWEST 1/4, AND SOUTHWEST 1/4 - SOUTHWEST 1/4, SECTION 26, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN

INCLUDING ALL OF LOT 1, CERTIFIED SURVEY MAP #200, VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 265

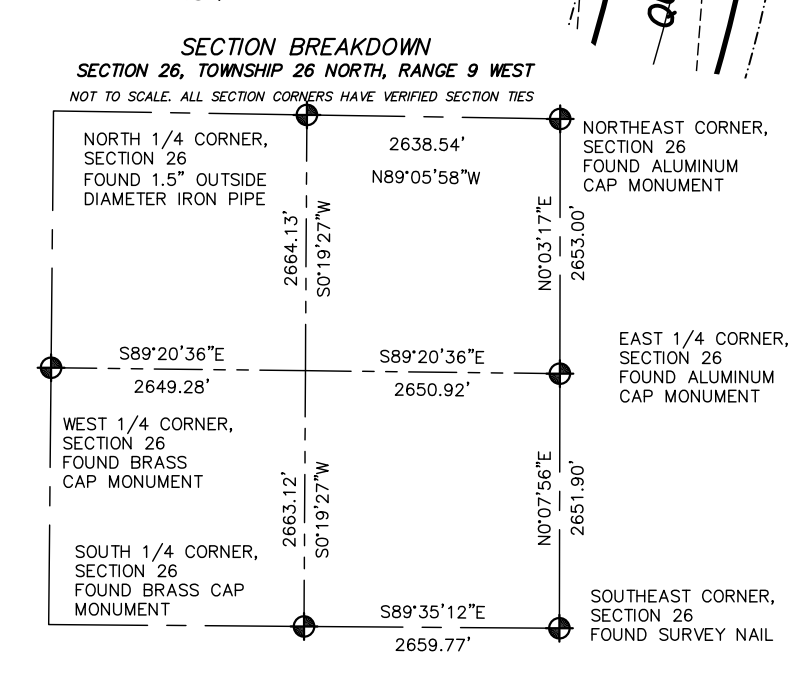
PREPARED BY REAL LAND SURVEYING
CADD No. 18221 PLAT

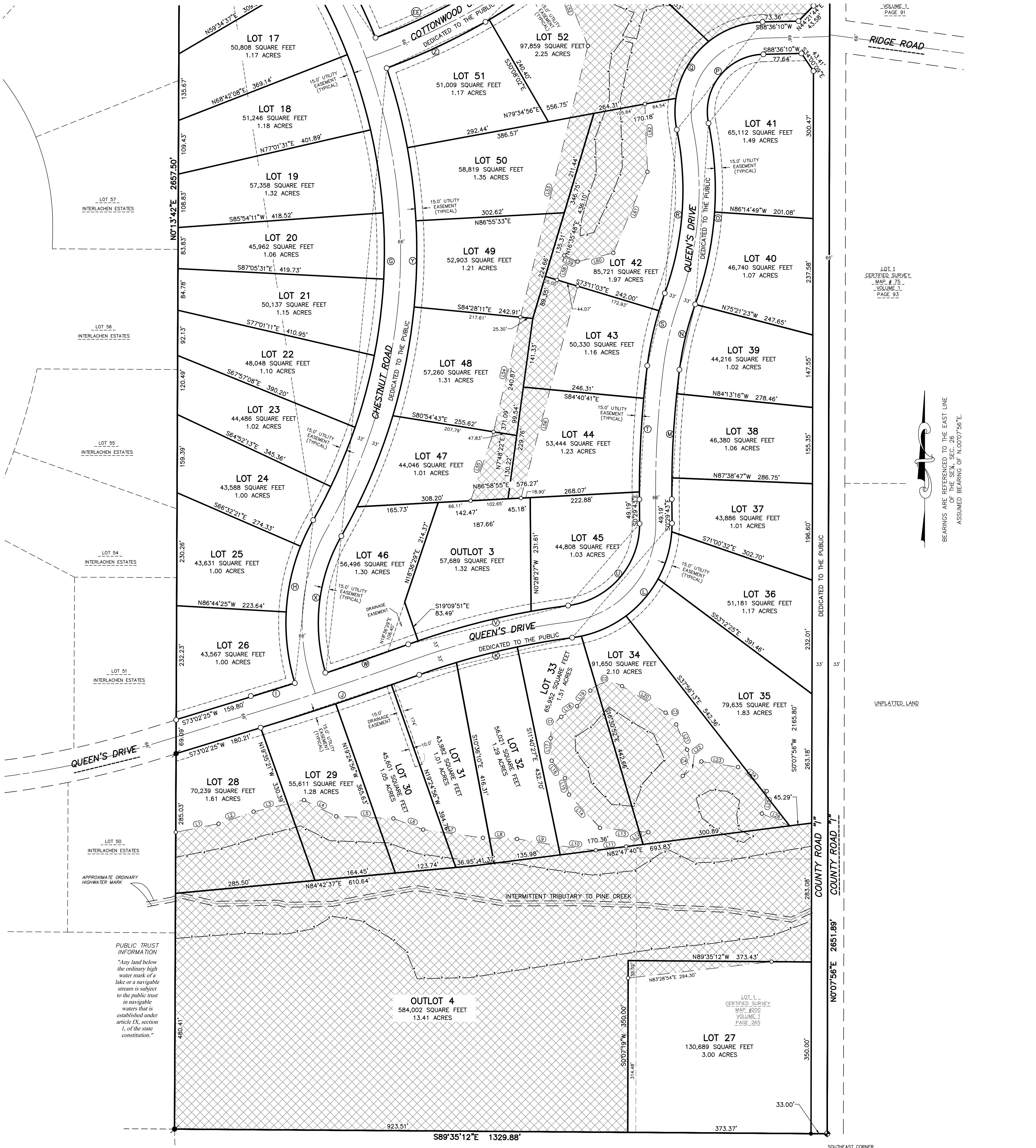
SHEET 1 OF 3



ENVIRONMENTALLY SENSITIVE AREAS (ESA) NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY. SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY ALLOWED UNDER ANY OF THE FOLLOWING:
- TITLE 17
- TITLE 18

- FND. 1-1/4" x 18" REBAR
- FND. 1" OUTSIDE DIAMETER IRON PIPE
- SET 1-1/4" x 18" REBAR
- WEIGHING 4.30 POUND PER LINEAL FOOT.
- SET 1" OUTSIDE DIAMETER x 18" IRON PIPE
- WEIGHING 1.13 POUND PER LINEAL FOOT FOR ES/
- SET 1" OUTSIDE DIAMETER x 18" IRON PIPE
- WEIGHING 1.13 POUND PER LINEAL FOOT.
- AT ALL OTHER LOT CORNERS.
- () --- RECORDED AS
- NO BUILD OR CUT LINE PER DEVELOPER / ESA AREA SEE NOTE
- DELINEATED WETLAND LINE





LOT 1
CERTIFIED SURVEY
MAP # 75
VOLUME 1
PAGE 93

BEARINGS ARE REFERENCED TO THE EAST LINE
OF THE SE 1/4, SEC. 26
ASSUMED BEARING OF N.007°56'E.

UNPLATTED LAND

SOUTHEAST CORNER,
SECTION 26
FOUND SURVEY NAIL

PUBLIC TRUST INFORMATION
"Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____
Department of Administration

ENVIRONMENTALLY SENSITIVE AREAS (ESA) NOTE:
NO DEVELOPMENT OR LAND DISTURBANCE ACTIVITY SHALL BE ALLOWED WITHIN ANY ENVIRONMENTALLY SENSITIVE AREAS EXCEPT AFTER ISSUANCE OF A PERMIT FROM THE COUNTY. SUCH PERMIT ONLY TO BE ISSUED IF THE OWNER DEMONSTRATES THE PROPOSED DEVELOPMENT OR LAND DISTURBANCE ACTIVITY IS EXPRESSLY ALLOWED UNDER ANY OF THE FOLLOWING:
- TITLE 17
- TITLE 18

- LEGEND**
- FND. 1-1/4" x 18" REBAR
 - FND. 1" OUTSIDE DIAMETER IRON PIPE
 - SET 1-1/4" x 18" REBAR
 - SET 1" OUTSIDE DIAMETER x 18" IRON PIPE
 - SET 1" OUTSIDE DIAMETER x 18" IRON PIPE FOR ESA AREA
 - SET 1" OUTSIDE DIAMETER x 18" IRON PIPE
 - SET 1.13 POUND PER LINEAL FOOT.
 - AT ALL OTHER LOT CORNERS.
 - () RECORDED AS
 - NO BUILD OR CUT LINE PER DEVELOPER / ESA AREA SEE NOTE
 - DELINEATED WETLAND LINE

- ABBREVIATIONS:**
ALUM. - ALUMINUM
COR. - CORNER
CSM NO. - CERTIFIED SURVEY MAP NUMBER
D.O.T. - DEPARTMENT OF TRANSPORTATION
E. - EAST
ESA - ENVIRONMENTALLY SENSITIVE AREA
FND. - FOUND
HOA - HOME OWNERS ASSOCIATION
LBS/LF - POUNDS PER LINEAL FOOT
MON. - MONUMENT
N. - NORTH
NE - NORTHEAST
NW - NORTHWEST
O.D. - OUTSIDE DIAMETER
R/W - RIGHT OF WAY
RAW - RANGE # WEST
S. - SOUTH
SE - SOUTHEAST
SEC. - SECTION
S.F. - SQUARE FEET
ST. - STREET
S.T.H. - STATE TRUNK HIGHWAY
SW - SOUTHWEST
T#N# - TOWNSHIP ## NORTH
V.#/P.# - VOLUME #/PAGE #
W. - WEST

SCALE: 1" = 100'

UTILITY EASEMENT:
IS FOR THE USE OF THOSE UTILITIES LISTED IN THE UTILITY EASEMENT PROVISIONS ON SHEET 3. NO UTILITY LINES, PEDESTALS OR ANY APPURTENANCES SHALL BE PLACED WITHIN 3 FEET OF ANY LOT CORNER.

PREPARED BY REAL LAND SURVEYING
CADD No. 18221 PLAT

CAMBRIDGE ESTATES

LOCATED IN THE SOUTHEAST 1/4 - NORTHEAST 1/4, NORTHEAST 1/4 - SOUTHEAST 1/4, AND SOUTHEAST 1/4 - SOUTHEAST 1/4, SECTION 26, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF PLEASANT VALLEY, EAU CLAIRE COUNTY, WISCONSIN

INCLUDING ALL OF LOT 1, CERTIFIED SURVEY MAP #200, VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 285

County Board Sets Strategic Initiatives

- April (May / June for 2020)
 - Initial consultation with Finance and Budget on input for budget guidelines, timeline and process.
 - Strategic Initiatives, based on County Strategic Plan, identified by County Board; review and prioritization each year to set the budget direction. This includes trend analysis update from the prior year.

Budget Priorities, Preliminary Information, & Expectations

- April (May / June for 2020)
 - County Administrator communicates budget priorities to deliver outcomes linked to strategic initiatives and budget guidelines – departments ensure operational goals align with county board strategic direction; and county board of supervisors.
- May
 - County Administrator communicates to Department Heads:
 - County Board strategic initiatives | Budget priorities & guidelines | Calendar | Preliminary budget assumptions (health insurance, COLA, etc.)
 - Department Heads meet to present department projections and assumptions of needs & challenges for the next budget year
- Early June
 - Finance sends wage worksheets to departments; Human Resources sends position request forms to departments
 - Board meeting in June: Board receives education on governmental finance and budget in brief.
 - Presentation to Finance and Budget on macro-trends; initial number on fixed costs (Board as a whole) - July
- July
 - Finance sends budget packets to departments.

Department Requests

- Mid-June
 - Departments return wage worksheets to Finance Department; and position requests to Human Resources Department
- Mid-August
 - Departments submit budget packet to Finance

Budget Request Review

- Mid-July to Mid-August
 - County Board oversight committees review department budget and position requests (Administrator and Finance Director to attend as many as possible)
 - Department Heads meet to review budget submissions

Administrator Recommendation

- September / October
 - County Administrator meets with Department Heads (as needed), individually and as a large group, to review budget requests and explain recommendation
 - County Administrator meets with Finance and Budget to discuss recommendation prior to finalization of the recommendation.

- County Administrator publishes recommendation to County Board.

County Board Approval & Budget Process Evaluation

- Finance and Budget invites Board to participate in ½ day to a full day discussion of the recommendation.
- October Board meeting is the budget public hearing – budget recommendation is summarized for the board reviewing alignment with County Board priorities and discussion and dialog around the proposal.
- Supervisors submit budget amendment forms.
- November is the final budget deliberation and adoption.
- Administration solicits feedback from County Board, and Department Heads meet to review and evaluate budget process

Key: Orange items are key changes in the process as recommended by the team.
Aqua items are potential changes for discussion by Administrator

Budget process:

Goals:

1. A budget process that is equitable, inclusive and transparent; that engages and informs the board from the outset through final adoption.
2. Improved communication between stakeholders.
3. A process that includes shared understanding, alignment in desired outcomes.
4. A budget process that provides the board multiple opportunities to provide policy guidance and direction.
5. A process which allows the board to focus on **strategies versus tactics and operations**

Basic assumptions:

1. We can no longer compete for scarce resources and meet the needs of our constituency.
2. We have to identify how we can do things differently that will not have a detrimental effect upon essential services.
3. We must work collaboratively in order to solve these issues.
4. The prior years budget is not an automatic starting point for determining funding levels.
5. Budget dialog needs to start and be formulated around where we want to go.

Issue	Solution

VIOLATION STATUS REPORT

Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0064-15	10/16/2015	Active	08/08/2019	11/15/2015	Zoning Standards / General Zoning	022102104000 / 1802222710081100001 / 27.10.8.1-1-A	
Name(s):	Wayne R & Marjorie N Peters (Owner) Wayne R & Marjorie N Peters (Violator)				Address(es) of Violation:	7911 PARTRIDGE RD	
Description of Violation: There Are Structure(S) On The Property That Have Not Received Permits From The Planning And Development Department . There Are Also Items Including But Not Limited To Construction Materials, Vehicles, And Other Miscellaneous Items That Are Outside An Approved Structure . The Property May Be Considered A Junkyard Under Eau Claire County Definition . The Zoning On The Property Does Not Allow For A Junkyard As A Permitted Principal, Accessory, Or Conditional Use.							
Compliance Steps: Call Me Directly To Set Up An Onsite Inspection With You To Determine What Items Need To Be Permitted , What Construction Materials, Vehicles, And Miscellaneous Items Need To Be Remove Or Placed In An Approved Structure, And To Set Up A Compliance Schedule To Bring The Property Into Compliance .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.31.040.A.	Description:		
	Section:	Zoning Code	Number:	18.02.020.93	Description:		
	Section:	Zoning Code	Number:	18.25.010.I.2	Description:		
Correspondence:	Type	First Notice / Violation Letter	Sent Date	10/16/2015	Deadline Date	11/15/2015	Comments
Correspondence:	Type	Second Notice / Follow Up Letter	Sent Date	09/28/2016	Deadline Date	10/12/2016	Comments
V-0020-16	06/14/2016	Active	06/14/2016	07/14/2016	Junkyard Materials / General Zoning	012114503000 / 1801222708361100002 / 27.8.36.1-1-B	
Name(s):	Scot L Hemenway (Owner) Scot L Hemenway (Violator)				Address(es) of Violation:	E11795 BIRCH TREE LN	
Description of Violation: Unlicensed/Inoperable Vehicles And Parts Thereof And Junkyard Materials On The Property .							
Compliance Steps: Clean Up The Junkyard Materials Onsite And Verify The Vehicles Outside Of An Approved Structure Are Licensed And Operable . If There Are More Than Two Unlicensed And/Or Inoperable Vehicles, Under Eau Claire County Code The Property Would Be Considered A Junk Yard . The Property Does Not Allow Junk Yards As A Permitted Principal, Accessory, Or Conditional Use In The A-2 Zoning District.							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.02.020.94	Description:		
	Section:	Zoning Code	Number:	18.03.070	Description:		
	Section:		Number:		Description:		
Correspondence:	Type	Contact Letter	Sent Date	06/14/2016	Deadline Date	07/14/2016	Comments
Correspondence:	Type	First Notice / Violation Letter	Sent Date	08/11/2016	Deadline Date	08/22/2016	Comments
V-0036-16	09/01/2016	Active	09/21/2016	10/01/2016	Zoning Standards / General Zoning	022101608000 / 1802222710054300003 / 27.10.5.4-3-C	
Name(s):	Charles G & Leona North (Owner) Charles G & Leona North (Violator)				Address(es) of Violation:	8108 PARTRIDGE RD	
Description of Violation: There Is Currently A Conditional Use On The Property (Cup2001-14) For The Amortization Of Nonconforming Junkyards, Salvage Yards And Motor Vehicle Repair Shops. There Is Junkyard Materials Throughout The Property Exceeding The Allowed Ninety Motor Vehicles Under Condition 2 Violating The Conditional Use Permit.							
Compliance Steps: There Were Previous Site Visits And Correspondance In 2014 That Show That The Property Needed To Be Addressed. There Was A Compliance Schedule Establishing Goals To Bring The Property Into Compliance, However There Were Health Issues With The Owner(S) That Put The Schedule On Hold. The Department Has Not Recieved Any Correspondance Regarding The Health Of The Owner(S) Since Placing The Schedule On Hold. To Resolve The Matter, Contact Me Directly To Set Up A Time To Meet Onsite To See The Status Of The Proeprty And What Needs To Addressed To Follow The Conditions In The Conditional Use Permit. If No Action Is Taken, The Department Will Follow The Process On The Revocation Of The Permit.							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.21.090	Description:		
Correspondence:	Type	First Notice / Violation Letter	Sent Date	09/01/2016	Deadline Date	10/01/2016	Comments

VIOLATION STATUS REPORT

Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0045-16	12/01/2016	Active	12/01/2016	12/31/2016	Construction Without Permit / General Zoning	020116208000 / 1802022709133202011 / 27.9.13.18:OL.1-B	
Name(s):		Aks Property Management Llc (Owner) Aks Property Management Llc (Violator)		Address(es) of Violation:			
Description of Violation: Construction Including But Not Limited To A Viewing Deck, Open Sided Structure, And Stairways From North Shore Drive Down To Lake Altoona.							
Compliance Steps:							
Ordinance Info:		Section: Zoning Code	Number: 18.31.040.A.1.A	Description:			
		Section: Zoning Code	Number: 18.19.050.B.2	Description:			
		Section: Zoning Code	Number: 18.19.070.C	Description:			
Correspondence:		Type Contact Letter	Sent Date 10/18/2016	Deadline Date 11/18/2016	Comments		
Correspondence:		Type First Notice / Violation Letter	Sent Date 12/01/2016	Deadline Date 12/16/2016	Comments		
V-0032-17	08/29/2017	Active	08/29/2017	09/28/2017	Dwelling Occupancy / General Zoning	024105306000 / 1802422608284300001 / 26.8.28.4-3-A, F	
Name(s):		Kelly P Sather (Owner) Amy M Sather (Owner) Amy M Sather (Violator)		Address(es) of Violation: 9060 US HIGHWAY 53			
Description of Violation: There Is An Existing Pole Shed That Is Being Used For Dwelling Purposes . After Reviewing The Property Files, I Did Not See Where The Department Has Issued A Change Of Use Permit For The Pole Shed To A Single Family Home. The Property Shall Not Have More Than One Principal Building Or Use And Its Accessory Buildings Or Uses .							
Compliance Steps: Any Person(S)/Tenant(S) Dwelling In The Accessory Structure Shall Vacate The Accessory Structure (Pole Shed). The Structure Shall Be Converted Back To A Pole Shed For Accessory Use To The Single Family House On The Property . Call For An Onsite Inspection Of The Structure To Verify Compliance .							
Ordinance Info:		Section: Zoning Code	Number: 18.03.060.A	Description:			
		Section: Zoning Code	Number: 18.03.070	Description:			
		Section: Zoning Code	Number: 18.08	Description:			
Correspondence:		Type First Notice / Violation Letter	Sent Date 08/29/2017	Deadline Date 09/28/2017	Comments		
V-0004-18	02/13/2018	Active	11/30/2018	03/15/2018 03/15/2018	Zoning Standards / General Zoning	020123104010 / 1802022708093109005 /	
Name(s):		Gene D Schleusner (Violator) Deanna M Schleusner (Owner) Deanna M Schleusner (Owner)		Address(es) of Violation: 1597 S 82ND AVE			
Description of Violation: Permit Se-0360-15 Was Issued December 10, 2015 Permitting A Single Family Dwelling And Outbuilding . The Department Understands That After The Permit Was Issued The Outbuilding Was Constructed, But The Dwelling Was Not. Since The Outbuilding Was Permitted As An Accessory Strucutre The Construction Of It Without A Pricipal Structure Created A Violation Of The Eau Claire Zoning Code.							
Compliance Steps: There Are Options To Resolve The Violation Including But Not Limited To ; Construction Of A Principal Structure, Removal Of The Structure In Violation, Or To Potentially Rezone The Property To A Distriict That Allows Oyour Structure As A Principal Structure.							
Ordinance Info:		Section: Zoning Code	Number: 18.05	Description: A-2 Agriculture-Residential District			
Correspondence:		Type First Notice / Violation Letter	Sent Date 02/20/2018	Deadline Date 03/22/2018	Comments		
Correspondence:		Type Second Notice / Follow Up Letter	Sent Date 04/11/2018	Deadline Date 05/11/2018	Comments		

VIOLATION STATUS REPORT
Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0005-18	03/01/2018	Active	02/18/2019	03/31/2018	Floodplain / Floodplain	008103803000 / 1800822510161200001 / 25.10.16.1-2 008103806000 / 1800822510162100001 / 25.10.16.2-1	
Name(s):	Robert E & Vanetta M Knutson (Owner) Robert E & Vanetta M Knutson (Violator)				Address(es) of Violation:	W5381 COUNTY ROAD ZZ	
Description of Violation: Please Refer To The Initial Letter Sent On July 5, 2016 Pertaining To The Violations That Occured On Your Property Along Rock Creek In Section 16, T25N-R10W.(Attached To This Letter).							
Compliance Steps: Agree To The Compliance Agreement Dated August 15, 2017 (Attached).							
Ordinance Info: Section: Zoning Code Number: 18.20.020.A Description: Section: County Code Number: 20.03 Description:							
Correspondence: Type First Notice / Violation Letter Sent Date 07/05/2016 Deadline Date Comments							
Correspondence: Type Second Notice / Follow Up Letter Sent Date 03/01/2018 Deadline Date 04/02/2018 Comments							
V-0007-18	03/09/2018	Active	04/11/2018	04/08/2018	Junkyard Materials	024104204010 / 1802422608212200006 / 26.8.21.2-2-G	
Name(s):	Jonathan P & Jessica Smalstig (Owner) Jonathan P & Jessica Smalstig (Violator)				Address(es) of Violation:	7403 BERNHARDT RD	
Description of Violation: The Accumulation Of Refuse And/Or Junk Materials On The Property Including But Not Limited To Vehicles , Snowblowers, Lawnmowers And/Or Rototillers, Aircompressors, Grills, Four Wheelers (Atv), Varioius Household Items, Bicycles, And Miscellaneous Construction Materials. On March 7, 2018 Land Conservation Staff Attempted To Contact The Property Owner , But Nobody Was Available To Answer The Door. The Accumulation Of Refuse And/Or Junk Is A Violation Of Circuit Court Case No. 14Cx01.							
Compliance Steps: All Refuse And Junk Shall Be Removed Within The Given Timeframe Or The Matter May Be Turned Over To Corporation Council For Further Legal Action . Contact Our Office To Schedule An Onsite Inspection, So Staff Can Verify Your Entire Property Is In Compliance With Circuit Court Case No. 14Cx01.							
Ordinance Info: Section: Zoning Code Number: 18.02.020(93) Description: Section: Zoning Code Number: 18.02.020(94) Description: Section: Zoning Code Number: 18.03.070 Description: Section: Zoning Code Number: 18.05 Description:							
Correspondence: Type First Notice / Violation Letter Sent Date 03/13/2018 Deadline Date 04/11/2018 Comments							
V-0014-18	04/13/2018	Active	05/23/2018	05/13/2018	Setback Violation	020100204000 / 1802022707043300001 / 27.7.4.3-3-A,C	
Name(s):	Jonathan D Perlberg (Violator) Karen R Perlberg (Owner)				Address(es) of Violation:	2501 N 140TH AVE	
Description of Violation: A Structure Has Been Constructed Without First Obtaining The Required Land Use Permit . The Required Minimum Setback From A Class C Highway (Such As Oak Knoll Drive) Shall Be 83 Feet From The Centerline, Or 50 Feet From The Right-Of-Way Line, Whichever Is Greater. The Structure In Question Is 78 Feet From The Centerline Of Oak Knoll Drive. There Is Also A Sawmill Operation Onsite That May Be Permitted In The A-P District With The Approval Of A Conditional Use Permit.							
Compliance Steps: The Structure Shall Be Removed From The Property , Or Relocated On The Property To A Location That Conforms To Title 18, The Eau Claire County Zoning Code. Also, A Conditional Use Permit Application Shall Be Applied For, And Approved If Sawmill Operations Are To Continue On The Property .							
Ordinance Info: Section: Zoning Code Number: 18.22.020 Description: Highway Setback And Access Requirements Section: Zoning Code Number: 18.32.030 Description: A-P Conditional Uses Section: Zoning Code Number: 18.31.040 Description: Permits Required							
Correspondence: Type First Notice / Violation Letter Sent Date 04/13/2018 Deadline Date 05/14/2018 Comments							
V-0001-19	01/30/2019	Active	02/18/2019	03/01/2019	Sudivision Regulations / Subdivision	018109002000 / 1801822509361100001 / 018109003000 / 1801822509361200001 /	
Name(s):	Janice E Knudson (Owner) Janice E Knudson (Violator)				Address(es) of Violation:		
Description of Violation: There Was A Creation Of 36.62, Parcel D, That Was Not Done With A Certified Survey Map.							
Compliance Steps:							
Ordinance Info: Section: Number: Description:							
Correspondence: Type Sent Date Deadline Date Comments							

VIOLATION STATUS REPORT

Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0028-19	05/20/2019	Active	06/19/2019	06/19/2019	Zoning Standards	020110308000 / 1802022709114300019 / 27.9.11.4-3-U	
Name(s):	Ronald G Herrick (Owner) Ronald G Herrick (Violator)				Address(es) of Violation:	4680 TOWER DR	
Description of Violation: Multiple Inoperable Or Unlicensed Vehicles And Junkyard Material Onsite . The Property Could Be Defined As A Junkyard Per County Code . The Propety Zoned Rural Homes (Rh) Does Not Allow Junkyards As A Permitted, Accessory, Or Conditional Use.							
Compliance Steps: All Unlicensed Vehicles, Inoperable Vehicles, And Junkyard Materials Shall Be Removed From The Property Or Stored In An Enclosed Building .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.02.020.93	Description:		
	Section:	Zoning Code	Number:	18.03.020.94	Description:		
	Section:	Zoning Code	Number:	18.07	Description:		
	Section:	Zoning Code	Number:	18.25.010.I.2	Description:		
	Section:	Zoning Code	Number:	18.03.070	Description:		
Correspondence:							
	Type	First Notice / Violation Letter	Sent Date	05/20/2019	Deadline Date	06/21/2019	Comments
V-0030-19	05/23/2019	Active	07/17/2019	06/22/2019	Floodplain	002112207000 / 1800222606182400001 / 26.6.18.2-4	
Name(s):	Jason P Hansen (Owner) Jennifer J Hansen (Owner) Jennifer J Hansen (Violator)				Address(es) of Violation:	E18250 BUSE RD	
Description of Violation: Construction Of A Bridge Over Bridge Creek Without Obtaining The Required Shoreland And Floodplain Permits . Additional Permits May Also Be Required From The Wisconsin Department Of Natural Resources.							
Compliance Steps: Apply For And Receive The Required Permits , Or Remove The Bridge Structure. Permit Requirements May Include, But May Not Be Limited To A Hydrolic And Hydrologic (H&H) Study By A Professional Engineer To Demonstrate The Bridge Will Not Increase Flood Water Depth Or Obstruct Flood Water Flow In A Major Flooding Event .							
Ordinance Info:							
	Section:		Number:		Description:		
Correspondence:							
	Type		Sent Date		Deadline Date		Comments
V-0031-19	05/24/2019	Active	06/19/2019	06/23/2019	Zoning Standards	006103710000 / 1800622508144300005 / 25.8.14.4-3-G,M	
Name(s):	Shawn Holden (Owner) Shawn Holden (Violator)				Address(es) of Violation:	S12820 US HIGHWAY 53	
Description of Violation: Structural Alteration Of An Existing Nonconforming Structure Without Receiving Required Permits . A Pitched Roof Was Added To An Existing Garage Exceeding The Legal Non-Conforming Limits Of A One Time Addition Or Alteration Of 500 Square Feet Or Less.							
Compliance Steps: Remove The Pitched Roof From The Structure, Or Demonstrate How The Addition Meets The Eau Claire County Zoning Code Requiremants .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.24.015.F	Description:	Nonconforming Structure Additions	
	Section:	Zoning Code	Number:	18.31.040	Description:	Permits Required	
Correspondence:							
	Type	First Notice / Violation Letter	Sent Date	05/24/2019	Deadline Date	06/26/2019	Comments
V-0037-19	06/18/2019	Active	06/18/2019	07/18/2019	Zoning Standards	020111908000 / 1802022709134109000 / 27.9.13.4-1-I & N	
Name(s):	Michael J Salter (Owner) Michael J Salter (Violator)				Address(es) of Violation:	5852 NORTH SHORE DR	
Description of Violation: Multiple Inoperable Or Unlicensed Vehicles And Junk Yard Material Onsite . The Property Could Be Defined As A Junk Yard Per County Code . The Property Zoned Rural Homes (Rh) Does Not Allow Junk Yards As A Permitted, Accessory, Or Conditional Use.							
Compliance Steps: All Unlicensed Vehicles, Inoperable Vehicles, And Junk Yard Material Shall Be Removed From The Property Or Stored In An Enclosed Building .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.02.020.93	Description:		
	Section:	Zoning Code	Number:	18.02.020.94	Description:		
	Section:	Zoning Code	Number:	18..07	Description:		
	Section:	Zoning Code	Number:	18.25.010.I.2	Description:		
Correspondence:							
	Type	First Notice / Violation Letter	Sent Date	06/18/2019	Deadline Date	07/19/2019	Comments

VIOLATION STATUS REPORT
Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN	Parcel #	Municipality Name
V-0041-19	08/05/2019	Active	08/19/2019	09/04/2019	Other - Specify	002122501000 / 1800222506214300001 / 25.6.21.4-3-A		
Name(s):	Viola H Gingerich (Owner) Rudy E Gingerich (Owner) Rudy E Gingerich (Violator)				Address(es) of Violation:	S14020 COUNTY ROAD M		
Description of Violation: Installation Of A New Drainage System In The Shoreland-Wetland District, And Filling, Grading, Lagooning, Dredging, Ditching, Or Excavating Without The Required Land Use Permit(S). This Violation Is Following The Wetland Determination Carried Out By The Wisconsin Department Of Natural Resources On June 25, 2019 And Outlined In The Subsequent Letter Drafted On June 28, 2019. Wetlands Have Been Determined To Be Onsite Putting The Property Under The Jurisdiction Of The Eau Claire County Shoreland -Wetland District As Defined In Title 20 Of The Eau Claire County Code.								
Compliance Steps: Contact Department Staff For A Final Inspection After Removal Of The Drainage System And Restoration Are Complete . Also, The Approval Of A Shoreland Filling And Grading Permit Is Required For The Remaining System Outside The Determined Wetland. Since The Applicaiton Is After The Fact A Double Fee Will Be Assessed. Our Office Has Not Been Contacted As Requested In The Letter Sent September 27, 2019, So The Above Deadline Has Been Established.								
Ordinance Info: Section: County Code Number: 20.03 Description: Shoreland-Wetland District Section: County Code Number: 20.08 Description: Shoreland Filling And Grading								
Correspondence: Type First Notice / Violation Letter Sent Date 11/04/2019 Deadline Date 12/04/2019 Comments								
V-0050-19	10/09/2019	Active	10/09/2019	11/08/2019	Zoning Standards / General Zoning	020104104000 / 1802022708083109000 / 27.8.8.3-1-A		
Name(s):	David C Steindl (Owner) David C Steindl (Violator)				Address(es) of Violation:	1633 S 72ND AVE		
Description of Violation: Conditions 2, 3, And 4 Of Cup-0013-16 Are In Violation. There Are Multiple Vehicles Parked On The Property That Are Not In A Fenced In Area , Car Parts And Thereof Stored Outside And Not In A Building, And The Department Does Not Have A Floor Plan That Conforms To 18.23.030.E. Of The County Code.								
Compliance Steps: Adhere To The Conditions Outlined In The Conditional Use Permit Or Apply For A Conditional Use Permit To Amend The Site Plan And /Or Conditions Per 18.21.100.B. Of The County Code. Failure To Address The Matter May Result In The Committee Holding A Public Hearing On The Revocation Of The Permit .								
Ordinance Info: Section: Zoning Code Number: 18.21.090 Description: Section: Number: Description:								
Correspondence: Type First Notice / Violation Letter Sent Date 10/09/2019 Deadline Date 11/08/2019 Comments								
Correspondence: Type Sent Date Deadline Date Comments								
V-0052-19	10/15/2019	Active	10/15/2019	11/14/2019	Zoning Standards	004103905000 / 1800422610101200003 / 26.10.10.1-2-C & GL4-I 004103906000 / 1800422610101200004 / 26.10.10.1-2-D		
Name(s):	Eau Claire County (Owner) American Express (Violator)				Address(es) of Violation:	W4505 STATE ROAD 85		
Description of Violation: Stockpiling Of Clean Fill Material On Property Owned By Eau Claire County. This Property Was Acquired By The County Through A Hazard Mitigation Assistance Program , Since The Property Is Susceptible To Recurring Flood Damage. Properties Funded Through The Mitigation Program Are Required To Maintain Open Space , Recreational, Or Wetland Practices In Perpetuity. Not Only Is Offsite Fill Not An Allowable Use, But It Is Not Compatible With Open Space And Does Not Conserve The Natural Function Of The Floodplain As Required By The Buyout Program And The Deed Restriction Placed On The Parcel (Recorded Document #688161).								
Compliance Steps: Remove The Clean Fill Material From Eau Claire County Owned Property , And Ensure The Requirements Of The Original Acquisition , And The Deed Restriction(S) Are Maintained.								
Ordinance Info: Section: Number: Description:								
Correspondence: Type First Notice / Violation Letter Sent Date 10/15/2019 Deadline Date 11/15/2019 Comments								
V-0056-19	11/04/2019	Active	11/04/2019	12/04/2019	Zoning Standards	006103410000 / 1800622508143200001 / 25.8.14.3-2		
Name(s):	John D Lowe (Owner) John D Lowe (Violator)				Address(es) of Violation:	E10298 COUNTY ROAD HH		
Description of Violation: Accumulation Of Junkyard Materials And Unlicensed Vehicles .								
Compliance Steps:								
Ordinance Info: Section: Number: Description:								
Correspondence: Type Sent Date Deadline Date Comments								

VIOLATION STATUS REPORT
Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0057-19	11/06/2019	Active	11/11/2019	12/06/2019	Zoning Standards	020109701000 / 1802022709113409004 / 27.9.11.3-4-B & 3-4-Y	
Name(s):	Knute D Forest (Violator) Knute D Forest (Owner)				Address(es) of Violation:	4312 TOWER DR	
Description of Violation: Accumulation Of Junkyard Materials As Defined By County Zoning Code . There Are Various Secondhand Items, Scrap Metal, Machine(S), And Vehicles Onsite.							
Compliance Steps: Remove The Junkyard Materials From The Property Or Store Them In An Enclosed Building . Contact Our Office To Schedule An On-Site Inspection So Staff Can Verify The Materials Have Been Removed And Any Vehicles Are Licensed And Operable .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.03.070	Description:	Use Not Listed Is Prohibited	
	Section:	Zoning Code	Number:	18.13	Description:	C2 Zoning District	
	Section:	Zoning Code	Number:	18.02.020.93	Description:	Junkyard Definition	
	Section:	Zoning Code	Number:	18.02.020.94	Description:	Junkyard Materials Definition	
Correspondence:							
	Type	First Notice / Violation Letter	Sent Date	11/06/2019	Deadline Date	12/06/2019	Comments
V-0060-19	11/20/2019	Active	11/21/2019	12/20/2019	Zoning Standards	022115205000 / 1802222710324202004 / 27.10.32.125:1:5	
Name(s):	Thomas M Metcalfe (Owner) Thomas M Metcalfe (Violator)				Address(es) of Violation:	7754 BLUE VALLEY DR N	
Description of Violation: Constructed Garage Over Property Line Failing To Meet Minimum Setback Standards From A Property Line . Permit Un-1062 Was Issued In 2003 For A 24X28 Garage That Was To Be Constructed 20 Feet From The Property Line.							
Compliance Steps: Move The Structure To Conform With Title 18, County Zoning Code, Or Work With Your Neighbor And A Licensed Land Surveyor To Acquire Additional Land Around The Structure To Meet The Setback Standards Of Title 18. A Minimum Setback Of Ten Feet Is Required From Side Property Lines On A Corner Lot .							
Ordinance Info:							
	Section:	Zoning Code	Number:	18.07.040.C.5	Description:	Cornerlot Setback Requirements	
Correspondence:							
	Type	First Notice / Violation Letter	Sent Date	11/21/2019	Deadline Date	12/31/2019	Comments
V-0061-19	12/04/2019	Active	02/17/2020	01/03/2020	Zoning Standards	002122408020 / 1800222506214109001 / 25.6.21.4-1-C	
Name(s):	Daniel D Gingerich (Owner) Barbara Gingerich (Owner) Chris P Borntrager (Owner) Mary D Borntrager (Owner) Mary D Borntrager (Violator)				Address(es) of Violation:	S13590 COUNTY ROAD M	
Description of Violation: Structure Without Permit							
Compliance Steps:							
Ordinance Info:							
	Section:		Number:		Description:		
Correspondence:							
	Type		Sent Date		Deadline Date		Comments
V-0063-19	12/20/2019	Active	05/20/2020	01/19/2020	Zoning Standards	002122408020 / 1800222506214109001 / 25.6.21.4-1-C	
Name(s):	Daniel D Gingerich (Owner) Barbara Gingerich (Owner) Chris P Borntrager (Owner) Mary D Borntrager (Owner) Mary D Borntrager (Violator)				Address(es) of Violation:	S13590 COUNTY ROAD M	
Description of Violation: Construction Of A Structure (Dust Collector) In A Shoreland Overlay District Without The Required Land Use Permit .							
Compliance Steps:							
Ordinance Info:							
	Section:		Number:		Description:		
Correspondence:							
	Type		Sent Date		Deadline Date		Comments

VIOLATION STATUS REPORT
Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN	Parcel #	Municipality Name
V-0002-20	02/11/2020	Active	02/17/2020	03/12/2020	Floodplain	002120905000 / 1800222506161400001 / 25.6.16.1-4		
Name(s):	Ben H & Sarah Borntreger (Owner) Ben H & Sarah Borntreger (Violator)				Address(es) of Violation:	E20950 OAK RIDGE RD	E20960 OAK RIDGE RD	
Description of Violation: Construction Of A New Structure East Of Diaomond Valley Creek Within The Floodplain Overlay District , Zone A Floodplain, And The Shoreland Protection Overlay District Without The Required Permit(S).								
Compliance Steps: Remove The Structure From It'S Current Location, Or Relocate The Structure Outside The Floodplain And The Shoreland Protection Overlay District . To Permit The Structure In It'S Current Location A Letter Of Map Amendment(Loma) Meeting The Requirements Of 2017 Act 242 Or A Hydraulic And Hydrologic Engineered Study (H&H Study) May Be Utilized To Adjust The Floodplain Boundary. If The Boundary Is Adequately Adjusted A Permit May Be Issued .								
Ordinance Info: Section: Description: Number: Sent Date 02/11/2020 Deadline Date 03/19/2020 Comments								
Correspondence: Type First Notice / Violation Letter Sent Date 02/11/2020 Deadline Date 03/19/2020 Comments								
V-0003-20	02/28/2020	Active	05/14/2020	03/29/2020	Construction Without Permit	002125110000 / 1800222506332400001 / 25.6.33.2-4		
Name(s):	Ammon L & Ida E Wagler (Owner) Ammon L & Ida E Wagler (Violator)				Address(es) of Violation:	E20382 DOLOTTA RD	E20370 DOLOTTA RD	S15330 COUNTY ROAD M
Description of Violation: The Repair And Construction Of A Structure Located Within The Shoreland Protection Overlay District Without The Required Land Use Permit . Any Construction On Land Within 300 Feet Of A Navigable Stream Is Required To Obtain A Land Use Permit And Follow The Standards Of The Shoreland Protection Overlay District .								
Compliance Steps: Complete The Enclosed Land Use Permit Application And Return To Our Office For Review And Approval . When The Permit Is Approved The Application Fee Will Be Doubled , Since The Permit Is After-The-Fact.								
Ordinance Info: Section: Description: Number: 20.14.002 Sent Date 02/28/2020 Deadline Date 03/30/2020 Comments								
Correspondence: Type First Notice / Violation Letter Sent Date 02/28/2020 Deadline Date 03/30/2020 Comments								
V-0004-20	02/28/2020	Active	02/28/2020	03/29/2020	Construction Without Permit	002122408020 / 1800222506214109001 / 25.6.21.4-1-C		
Name(s):	Daniel D Gingerich (Owner) Barbara Gingerich (Owner) Chris P Borntrager (Owner) Mary D Borntrager (Owner) Mary D Borntrager (Violator)				Address(es) of Violation:	S13590 COUNTY ROAD M		
Description of Violation: Construction Of A Structure Located Within The Shoreland Protection Overlay District Without The Required Land Use Permit . Any Construction On Land Within 300 Feet Of A Navigable Stream Is Required To Obtain A Land Use Permit And Follow The Standards Of The Shoreland Protection Overlay District .								
Compliance Steps: Complete The Enclosed Land Use Permit Application And Return To Our Office For Review And Approval . When The Permit Is Approved The Application Fee Will Be Doubled , Since The Permit Is After-The-Fact.								
Ordinance Info: Section: Description: Number: 20.14.002 Sent Date 02/28/2020 Deadline Date 03/30/2020 Comments								
Correspondence: Type First Notice / Violation Letter Sent Date 02/28/2020 Deadline Date 03/30/2020 Comments								
V-0005-20	03/04/2020	Active	05/20/2020	04/03/2020	Building Code	010105101000 / 1801022505223100001 / 25.5.22.3-1-A&B		
Name(s):	Karen A Davis (Owner) Karen A Davis (Violator)				Address(es) of Violation:	E27300 OAK DR	E27362 OAK DR	
Description of Violation: Addition And Possible Electrical Work Without The Required Building Permit . The Area Of The Addition Also Is Within An Area Mapped As Wetland By The Wisconsin Department Of Natural Resources.								
Compliance Steps: Contact Our Office To Obtain Any Required Building Permit(S). Any Permits Required From The Wisconsin Department Of Natural Resources Is Required Prior To Our Office Issuing Any Bulding Permit(S).								
Ordinance Info: Section: Building Code Description: Permit Required Number: 15.01.080 Sent Date 03/04/2020 Deadline Date 04/03/2020 Comments								
Correspondence: Type First Notice / Violation Letter Sent Date 03/04/2020 Deadline Date 04/03/2020 Comments								

VIOLATION STATUS REPORT

Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN	Parcel #	Municipality Name
V-0006-20	03/04/2020	Active	05/20/2020	04/03/2020	Building Code	010105107000 / 1801022505224300001 / 25.5.22.4-3-A		
Name(s):	David J & Cynthia A Griffiths (Owner) David J & Cynthia A Griffiths (Violator)				Address(es) of Violation:	E27695 OAK DR		
Description of Violation: Addition To A Structure Without The Required Building And Land Use Permits . Your Property Is Within 300 Feet Of A Navigable Stream, So It Falls Under The Jurisdiction Of The Eau Claire County Shoreland Protection Overlay District. The Area Of The Addition Also Is Within An Area Mapped As Wetland By The Wisconsin Department Of Natural Resources .								
Compliance Steps: Contact Our Office To Obtain Any Required Building And Land Use Permits . Any Permits Required From The Wisconsin Department Of Natural Resources Are Required Prior To Our Office Issuing Any Permit(S).								
Ordinance Info:	Section:	Building Code	Number:	15.01.080	Description:	Permit Required		
	Section:	Shoreland	Number:	20.14.002	Description:			
Correspondence:	Type	First Notice / Violation Letter	Sent Date	03/04/2020	Deadline Date	04/03/2020	Comments	
V-0007-20	03/10/2020	Active	05/20/2020	04/09/2020	Sudivision Regulations	010108004000 / 1801022505333100001 /		
Name(s):	Fp Land Holdings Llc (Owner) Fp Land Holdings Llc (Violator)				Address(es) of Violation:			
Description of Violation: Creation Of A Land Locked Parcel That Does Not Meet The Required Road Frontage Requirements . Chapter 18.82.060 Of The Eau Claire County Subdivision Control Ordinance Requires Road Frontage For Any New Land Divisions .								
Compliance Steps: If The Land Is Conveyed To An Adjoining Property Owner , The Parcel Creation Is Compliant With County Code. The New Parcel Was Conveyed To John Yoder , Anna Yoder , And Eli Gingerich. Together In Joint Ownership The Listed Owners Do Not Own Any Adjoining Property . The New Parcel Needs To Be Conveyed To An Adjoining Property Owner , Or Meet All The Subdivision Requirements As Defined In Title 18 Of County Code.								
Ordinance Info:	Section:	County Code	Number:	18.82.050	Description:			
Correspondence:	Type	First Notice / Violation Letter	Sent Date	03/10/2020	Deadline Date	04/10/2020	Comments	
V-0008-20	04/30/2020	Active	05/20/2020	05/30/2020	Zoning Standards	022104605000 / 1802222710144100004 / 27.10.14.4-1-N		
Name(s):	Larry S & Sigrid A Buxton (Previous Owner) Denis & Shirley Hansen Limited Partnership (Owner) Denis & Shirley Hansen Limited Partnership (Violator)				Address(es) of Violation:	2040 PRESTON RD		
Description of Violation: Operation Of A Cottage Industry (Wood Related Business) On A Parcel Zoned Rural Homes (Rh). According To 18.23 Of The Eau Claire County Zoning Code, A Cottage Industry Is Not A Permitted Pricipal Use, Accessory Use, Or Permiteed Through Approval Of A Conditional Use Permit . According To Section 18.03.080 Of The Zoning Ordinance, When A Use Is Not Listed As Permitted In A Given Zoning District The Use Is Pohibited In The District .								
Compliance Steps: All Wood Related Business Activities Shall Cease, The Existing Lumber Stockpile Shall Be Removed From Site, And Additional Lumber Shall Not Be Brought Onsite . Once All Wood Related Business Activities Have Ceased Contact The Land Use Controls Office To Schedule A Final Onsite Inspection , So Our Office Can Verify All Business Activities Have Concluded .								
Ordinance Info:	Section:	Zoning Code	Number:	18.07	Description:			
	Section:	Zoning Code	Number:	18.03.070	Description:			
Correspondence:	Type	First Notice / Violation Letter	Sent Date	05/01/2020	Deadline Date	06/01/2020	Comments	
V-0009-20	04/30/2020	Active	05/20/2020	05/30/2020	Zoning Standards	024217103000 / 1802422609153402017 / 26.9.15.115:3:4		
Name(s):	Elizabeth A Olsen (Owner) Daniel E Tubbs (Owner) Daniel E Tubbs (Violator)				Address(es) of Violation:	2910 KERN DR		
Description of Violation: Operation Of A Cottage Industry (Wood Related Business - Tubbs Tree Service Llc) On A Parcel Zoned Rural Homes (Rh). According To 18.23 Of The Eau Claire County Zoning Code, A Cottage Industry Is Not A Permitted Pricipal Use , Accessory Use, Or Permiteed Through Approval Of A Conditional Use Permit . According To Section 18.03.080 Of The Zoning Ordinance, When A Use Is Not Listed As Permitted In A Given Zoning District The Use Is Pohibited In The District .								
Compliance Steps: All Wood Related Business Activities Shall Cease, The Existing Lumber Stockpile Shall Be Removed From Site, And Additional Lumber Shall Not Be Brought Onsite . Once All Wood Related Business Activities Have Ceased Contact The Land Use Controls Office To Schedule A Final Onsite Inspection , So Our Office Can Verify All Business Activities Have Concluded .								
Ordinance Info:	Section:	Zoning Code	Number:	18.07	Description:			
	Section:	Zoning Code	Number:	18.03.070	Description:			
Correspondence:	Type	First Notice / Violation Letter	Sent Date	05/01/2020	Deadline Date	06/01/2020	Comments	

VIOLATION STATUS REPORT
Cases Reported Between 10/01/2015 and 05/31/2020

Case #	Date Opened	Current Status	Status Date	Comply By Date(s)	Violation Type / Category	Alt# / PIN Parcel #	Municipality Name
V-0010-20	05/15/2020	Active	05/15/2020	06/14/2020	Zoning Standards	020125807000 / 1802022709133402010 / 27.9.13:342:16	
Name(s):	Matthew R Meier (Owner) Kayla L Meier (Owner) Kayla L Meier (Violator) Green Oasis (Violator)				Address(es) of Violation:	5461 NORTH SHORE DR	
Description of Violation: Construction Of A Swimming Pool (Pond), Patio Area, And Outdoor Kitchen Addition To Existing Garage Without The Required Land Use Permit (S).							
Compliance Steps: Submit A Complete Land Use Permit Application With Required Supplemental Material For Department Review And Approval . A Permit May Be Issued When The Department Determines The Requirements Of Title 18 And Title 20 Are Met. If Additional Violations Remain Onsite A Request For Waiver According To Chapter 18.03.080 May Be Made To The Department Director To Grant Permit Approval On The Merits Of The Application.							
Ordinance Info:	Section:	Zoning Code	Number:	18.30.070.A	Description:	Private Swimming Pools	
	Section:		Number:	18.31.040	Description:	Permits Required	
Correspondence:	Type	First Notice / Violation Letter	Sent Date	05/18/2020	Deadline Date	06/18/2020	Comments
V-0011-20	05/15/2020	Active	05/15/2020	06/14/2020	Other - Specify	020125807000 / 1802022709133402010 / 27.9.13:342:16	
Name(s):	Matthew R Meier (Owner) Kayla L Meier (Owner) Kayla L Meier (Violator) Green Oasis (Violator)				Address(es) of Violation:	5461 NORTH SHORE DR	
Description of Violation: Multiple Construction And Vegetation Removal Violations As Outlined In An Email Titled 'Land Use Permit Application And Title 20 Shoreland Overlay District Violations' Sent To The Property Owner And A Green Oasis Representative On April 24, 2020. A Copy Of The Email Has Been Enclosed With This Letter.							
Compliance Steps: Submit A Complete Land Use Permit Application Specifying A Restoration Plan To Address The Multiple Items Outlined In The Enclosed Email For Department Approval . The Email County Staff Sent To The Landowner And Green Oasis Representative On May 8, 2020 Outlined The Discussion Between All Parties Involved That Took Place During A County Staff Site Visit May 1, 2020. The Discussion Was To Bring All Parties In Agreeance On Steps To Bring The Property Into Compliance With County Code . A Copy Of That Email Has Also Been Enclosed For Your Reference.							
Ordinance Info:	Section:	Shoreland	Number:	20.06	Description:		
	Section:	Shoreland	Number:	20.07	Description:		
	Section:	Shoreland	Number:	20.08	Description:		
	Section:	Shoreland	Number:	20.09	Description:		
Correspondence:	Type	First Notice / Violation Letter	Sent Date	05/18/2020	Deadline Date	06/18/2020	Comments
V-0012-20	05/20/2020	Active	05/20/2020	06/19/2020	Zoning Standards	024233909000 / 1802422708202302032 / 27.8.20:277:7	
Name(s):	Samuel N George (Violator) Amanda M George (Owner) Amanda M George (Owner)				Address(es) of Violation:	7502 ELAYNE DR	
Description of Violation: Construction Of An Accessory Structure Without The Required Permit (S) From Our Office.							
Compliance Steps: Complete And Submit The Enclosed Land Use Permit Application For Department Review . If The Standards Of The Eau Claire County Zoning Code Are Met A Permit Will Be Issued .							
Ordinance Info:	Section:	County Code	Number:	18.31.040	Description:	Permits Required	
Correspondence:	Type	First Notice / Violation Letter	Sent Date	05/20/2020	Deadline Date	06/22/2020	Comments

MINUTES

Eau Claire County

• PLANNING & DEVELOPMENT COMMITTEE •

Date: Tuesday, May 12, 2020

Time: 7:00 p.m.

*via remote access **ONLY**.

*Event link below can be used to connect to meeting and interact (by the chair) from computer or through the WebEx Meeting smartphone app.

Join WebEx Meeting: <https://eauclairecounty.webex.com> Meeting ID: 926 685 395 Password: mtVMyxjJ674

*Meeting audio can be listened to using this Audio conference dial in information.

Audio conference: 1-415-655-0001 Access Code: 926 685 395

Members Present: Gary Gibson, Robin Leary, Nancy Coffey, James A. Dunning, Dane Zook

Members Absent:

Staff Present: Rodney J. Eslinger, Matt Michels, Jared Grande

1. Call to Order and confirmation of meeting notice

Chairperson Gibson called the meeting to order at 7 pm and confirmed that the meeting was properly noticed.

2. Roll Call

Chairperson Gibson – present, Supervisor Leary – present, Supervisor Coffey – present, Supervisor Dunning – present, Supervisor Zook – present.

3. Public Comment **(15 minute maximum)**

None

4. Public Hearings

- a. **Proposed Ordinance: File No. 20-21/014**“Amending the 1982 Zoning District Boundary Map for the Town of Pleasant Valley” (Ian & Rachael Mattson) / Discussion – Action

Matt Michels, Senior Planner for Eau Claire County, presented the staff report to the committee. He gave the location of the proposed site within the Town of Pleasant Valley. Matt reviewed an aerial map, site plan, the current zoning and planning designations, and adjacent land uses. He indicated the petitioner is requesting to amend the zoning of the current property from A-P, Agricultural Preservation District to the A-2, Agriculture Residential District for the purposes of creating a lot to separate the house from the ag. land. Mr. Michels noted that there are no mapped wetlands or floodplain on the area to be rezoned. He noted that there are existing land divisions containing smaller lots in the area with residences that occurred before zoning was in place. The purpose of the request is to divide off about 6 acres for the existing residence, access, and septic system. The remaining land will remain A-P zoning.

Matt reviewed staff findings with the committee and gave his recommendation to approve the rezoning. He noted that the town board met on April 23rd and recommended approval of the request on a vote of 4-0.

Jeremy Shaw, with Real Land Surveying represented the applicants and spoke in favor of the request. He clarified for the committee that the septic system lies in the southern portion of an area to be rezoned and he addressed the committee’s access concerns. he is buying the property from his grandfather so he can build his house on the property.

Deann Bergeson, neighbor, noted that she was concerned with the access that would serve the new lot in the future. She stated that there has been an increase in traffic on County Road F and it's a real safety concern. She also noted that the remaining of the parcel is listed already and there is the real possibility of a second residence being located there.

Paul Nelson, neighbor, has lived across from the property since the original home was built. He expressed concerns about the access and wants to make sure its safe for everyone.

Staff noted that the highway department staff are involved in the CSM review process and they will be able to comment on any future access or change to an existing access off of County Highway F to the property.

No one else spoke in favor or against the request.

Action: Motion by James A. Dunning to approve Proposed Ordinance: File No. 20-21/014 as presented. Motion carried on a roll call vote: 4-1-0 (Chairperson Gibson – yes, Supervisor Leary – yes, Supervisor Dunning – yes, Supervisor Zook – yes, Supervisor Coffey – no).

- b. **Proposed Ordinance: File No. 20-21/015** “Amending the 1982 Zoning District Boundary Map for the Town of Washington” (Daniel & Regina Mauer) / Discussion – Action

Matt Michels, Senior Planner for Eau Claire County, presented the staff report to the committee. He gave the location of the proposed site within the Town of Washington, and noted this property used to be part of the former Flower Farm commercial greenhouse property. Matt reviewed an aerial map, site plan, the current zoning and planning designations, and adjacent land uses. He indicated the petitioner is requesting to amend the zoning of the current property from A2/RH, Agriculture Residential District/Rural Homes District to the C1, Neighborhood Business District to allow for a three-unit multi-family residential development. He stated that there is an existing 1,150 sq. foot garage on the property currently. In 2015, Willow Creek Estates, a residential development was created to the west of the property. Matt noted that the proposed development plan revealed that the building would be place as far to the east to maintain as much separation from the subdivision lots as possible.

Matt reviewed staff findings with the committee and gave his recommendation to approve the rezoning. He noted that the town board met on April 23rd and recommended approval of the request on a vote of 5-0 but said that several adjacent property owners spoke in opposition of the request at the town meeting.

Sean Bohan, applicant's engineer, spoke in favor of the request and informed the committee that the site will be developed with a multi-family residential unit as shown and the applicant would not do a bait and switch. He clarified that the town holds the right to refuse the driveway permit if the use is something other than a multi-family residential unit.

No one else spoke in favor or against the request.

Action: Motion by Robin Leary to approve Proposed Ordinance: File No. 20-21/015 as presented. Motion carried on a roll call vote: 5-0-0.

- c. A conditional use permit request to construct a 3-plex multifamily home in the proposed C-1 Neighborhood Business District. (Daniel and Regina Mauer) Town of Washington / Discussion – Action

Jared Grande, Land Use Manager for Eau Claire County, presented the staff report. The site conditions and location were previously reported by Mr. Michels. Jared noted that the conditional use permit request, if approved, would allow the applicants to construct a three-unit multi-family residential structure on the property. Jared specifically highlighted conditions 3, 4, and 6 from the staff report. Condition 3 related to the screening plan for the site, condition 4 addressed the lot coverage (percentage), and condition 6 was for the driveway spacing along Hart Road. A brief discussion was held regarding the screening and it was recommended that the evergreen trees be 6 to 8 feet at the time of planting and be staggered in two rows around the perimeter of the lot.

Supervisor Coffey inquired whether or not a smaller storage shed can be built on the property. Mr. Grande indicated that additional structures would need to comply with the lot coverage percentages of the code.

Sean Bohan, applicant's engineer, indicated that only 25% of the lot is currently planned for development so there would be space for storage sheds in the future. Sean also noted that 6 to 8-foot trees are expensive and he felt it would be better to use the trees and a berm combination for the screening.

Regina Mauer, applicant, indicated she was not in favor of a berm and supports larger (6 foot) trees at the time of planting. They have done this with other developments and the trees provide better screening sooner.

Jared reviewed staff findings with the committee and gave his recommendation to approve the conditional use permit. He noted that the town board met on April 23rd and recommended approval of the request on a vote of 5-0.

No one else spoke in favor or opposition of the request.

Action: Motion by James A. Dunning to approve conditional use permit request as presented. Motion carried on a roll vote: 5-0-0 subject to condition 3 stating that the evergreen trees shall be 6 feet or taller at the time of planting and staggered in two rows around the perimeter of the property.

- d. A conditional use permit request for the cumulative area of all accessory structures to exceed 1,200 square feet (4,700 square feet requested) in the RH Rural Homes District (John R Menard/Steen Construction) Town of Union / Discussion – Action

Jared Grande, Land Use Manager for Eau Claire County, presented the request for the cumulative square footage of all accessory structures to exceed 1,200 square feet. Mr. Grande reported that the proposed 32-foot by 60-foot garage will be used for personal storage. He reviewed the location of the site within the Town of Union. It was noted that there is an existing 2,872 square foot garage that the committee approved in 2016. The total cumulative square of both garages is 4,700 square feet. The new garage would meet the setback requirements of the district, comply with the height requirements, the structure's exterior will match the residence, and that the lot is large enough to support the garage.

On April 21, 2020, the Town of Union Town Board met to discuss this request and recommended approval of the request.

Staff concluded that the request for a conditional use permit for an accessory structure in excess of 1,200 square feet (4,700 sq. ft.) in the RH District complies with the code standards for accessory structures in the district, is consistent with the purpose of the code and the standards for granting conditional use application. Mr. Grande recommended approval subject to the conditions in the staff report.

Matt Ness, applicant's builder, spoke in favor of the request and stated that the garage will blend with the existing residence and will match the existing garage already onsite. The garage will be used to store a tractor.

No one else spoke in favor of or against the request.

Action: Motion by Robin Leary to approve conditional use permit request as presented. Motion carried on a roll call vote: 5-0-0.

5. A Subdivision Variance request for an unusual lot configuration and proposed lots not meeting the required minimum lot width in Section 3, T26N-R06W, Town of Bridge Creek / Discussion - Action

Jared Grande, Land Use Manager for Eau Claire County, provided an overview of the application for an unusual lot configuration and proposed lots not conforming the minimum lot width. Mr. Grande also provided an explanation county code relating to both matters and gave the committee his recommendation. No one else spoke on the matter.

Action: Motion by Nancy Coffey to approve Subdivision Variance as presented. Motion carried on a roll call vote: 5-0-0.

6. Staffing update / Discussion

Rodney J. Eslinger, Director of Planning and Development updated the committee on how the department staffing was impacted by the County's Bridge Plan. He noted that the Bridge Plan resulted in two impacted position for the department; funding for the Surveyor I and Administrative Specialist II was eliminated through the end of 2021. The current incumbent in the Administrative Specialist position will remain employed by the department but the position would be funded through the recycling program.

7. 1st Quarter Financial Report

Mr. Eslinger reviewed the 1st quarter department financial report with the committee.

8. Review of April bills / Discussion

The committee reviewed the April bills.

9. Review/Approval of April 28, 2020 Meeting Minutes / Discussion – Action

The committee reviewed the minutes.

Action: Motion by to approve the April 28, 2020 Meeting Minutes as presented. Motion carried on a roll call vote: 5-0-0.

10. Proposed Future Agenda Items / Discussion

- a. Next scheduled meeting – May 26, 2020

11. Adjourn

Action: Meeting adjourned by unanimous consent at 8:54 p.m.

Respectfully Submitted,

Rodney Eslinger
Clerk, Committee on Planning & Development